

Village of Hespeler
**Heritage Conservation
District Plan**



City of Cambridge
2026.03



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TABLE OF CONTENTS

1	PLAN FRAMEWORK	1
1.1	Project Background & Introduction	1
1.2	Heritage Conservation District Process	2
1.2.1	HCD Study Phase	2
1.2.2	HCD Plan Phase	2
1.3	How to Use this Plan	4
1.4	Boundary & Character Areas	5
1.4.1	Hespeler Heritage Conservation District Plan Boundary	6
1.4.2	Heritage Character Areas (HCA)	7
1.4.3	Commercial/Institutional Core	8
1.4.4	Former Industrial	9
1.4.5	Residential Character Area	10
1.4.6	Natural Heritage Areas	11
1.5	Statement of Significance & Heritage Attributes	12
1.5.1	Description of the Historic Place	12
1.5.2	The Speed River	13
1.5.3	Cultural Heritage Value	13
1.5.4	Description of Heritage Attributes	14
1.6	Goals and Objectives	19
2	POLICY FRAMEWORK	21
2.1	National Framework	21

2.1.1	Standards and Guidelines for the Conservation of Historic Places in Canada (2011)	21
2.1.2	The Standards & HCDs	22
2.2	Provincial Legislation	23
2.2.1	Ontario Heritage Act	23
2.2.2	Ontario Heritage Toolkit	25
2.2.3	Provincial Planning Statement, 2024	27
2.3	Municipal Policy and Legislation	30
2.3.1	City of Cambridge Official Plan (2018)	30
2.3.2	Density, Heights, and Zoning Updates	32
2.3.3	Heritage Conservation Districts in Cambridge	33
2.3.4	City of Cambridge Property Standards By-law	34
2.4	Applicable Studies, Plans, and Guidelines	35
2.4.1	City of Cambridge: Core Areas Community Improvement Plan (2022)	35
2.4.2	Cambridge Heritage Master Plan (2008)	36
2.4.3	Grand River Management Plan	37
2.4.4	The Grand Strategy for Managing the Grand River as a Canadian Heritage River (1994)	38
2.4.5	Hespeler Village Streetscape Plan and Urban Design Guidelines (2013)	39
2.4.6	Milling Road Streetscape Plan and Urban Design Guidelines (2021)	42
3	PLAN AND GUIDELINES FOR CONTRIBUTING PROPERTIES	43
3.1	District Boundary	43
3.1.1	Contributing and Non-Contributing Properties	44
3.1.2	Classification	46
3.1.3	Differentiating Policies and Guidelines	47
3.1.4	Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada	47
3.1.5	Existing Part IV Designations	48
3.2	Whole District Policies and Guidelines	49
3.2.1	The Speed River	50
3.2.2	Alterations and Additions	51
3.2.3	Height and Density	52
3.2.4	Demolition, Removal, and Relocation	53
3.2.5	New Construction and Infill Development	55
3.2.6	Adjacency to the District	56

3.2.7	Views	57
3.2.8	Gateways and Gathering Places	59
3.2.9	Traffic Management	60
3.2.10	Signage and Wayfinding	61
3.2.11	Street Trees, Furniture, Lighting, and Paving	61
3.2.12	Parking Lots and Aboveground Parking Structures	62
3.2.13	Maintenance	63
3.3	Residential Character Zone	64
3.3.1	Repair and Alterations	66
3.3.2	Roofs and Rooflines	67
3.3.3	Exterior Walls	69
3.3.4	Window and Door Openings	72
3.3.5	Entrance, Porch, and Verandah Alterations	74
3.3.6	Additions	78
3.3.7	New Construction	86
3.3.8	Secondary Structures, Outbuildings and Additional Residential Units	88
3.3.9	Landscapes, Trees, and Vegetation	91
3.4	Commercial Character Zone	97
3.4.1	Alterations – General Commercial	99
3.4.2	Additions – General Commercial	109
3.4.3	New Construction – General Commercial	118
3.4.4	Landscape, Trees and Vegetation – General Commercial	120
3.4.5	Public Realm	122
3.4.6	Parking – General Commercial	124
3.4.7	Specific Guidelines for Institutional Buildings	126
3.5	Natural Character Zone	128
3.5.1	Landscape Conservation	129
3.5.2	Trees	131
3.5.3	Views	132
3.5.4	Parks, Trails, and Greenspace	132
3.5.5	Ancillary Buildings and Structures	133
3.6	Industrial Character Zone	134
3.6.1	Repairs and Alterations and Additions	135
3.6.2	New Development	143
3.6.3	Former Industrial Infrastructure	147

4	POLICIES AND GUIDELINES FOR NON-CONTRIBUTING PROPERTIES	148
4.1	Policies and Guidelines for Non-Contributing Residential Properties	148
4.1.1	Differentiating Policies and Guidelines	149
4.2	Whole District Policies	150
4.2.1	New Development - General	150
4.2.2	Additions and Alterations – General	150
4.3	Policies and Guidelines specific to Character Zones	151
4.3.1	Residential – Repairs and Alterations	151
4.3.2	Residential Additions	153
4.3.3	Commercial – Repairs and Alterations	153
4.3.4	Additions – General Commercial Non-Contributing Properties	156
4.4	Former Industrial Zone	157
4.4.1	Industrial Repairs and Alterations	157
4.4.2	Industrial - New Development and Additions	159
5	IMPLEMENTATION	161
5.1	Heritage Permit Process	161
5.1.1	Heritage Permits	162
5.1.2	Cultural Heritage Impact Assessment	164
5.1.3	Adjacent Lands Development	166
5.2	Financial Incentives	168
5.2.1	Existing Heritage Incentive Programs in the City of Cambridge and Region of Waterloo	168
5.2.2	Incentive Programs in Ontario	169
5.3	Frequently Asked Questions Relating to Heritage Conservation Districts	170
5.4	Property Insurance	171
5.4.1	Property Insurance Risk Prospectus	171

A APPENDICES

- A1 Definitions
- A2 Consultation and Engagement
- A3 Schedule of Properties

TABLE OF FIGURES

FIGURE 1 Initial HCD Study Area as described in the Study Report (2024).	3
FIGURE 2 Revised HCD boundary for the Hespeler Village Heritage Conservation District.	6
FIGURE 3 Heritage Character Areas in Hespeler Conservation District.	7
FIGURE 4 Map of Commercial/Institutional Heritage Character Area.	8
FIGURE 5 Former Industrial Heritage Character Area.	9
FIGURE 6 Residential Character Area within the whole district.	10
FIGURE 7 Natural Heritage Character Area.	11
FIGURE 8 Industrial buildings along the Speed River. TRACE	16
FIGURE 9 Typical mainstreet buildings within the commercial area. TRACE	16
FIGURE 10 Commercial area along Queen Street. TRACE	16
FIGURE 11 Former Hespeler Hotel at 39 Queen Street East. Limestone, vernacular Georgian, ca. 1841. TRACE	17
FIGURE 12 Institutional buildings within the commercial area. TRACE	17
FIGURE 13 Typical residential typology of an Ontario Cottage. TRACE	17
FIGURE 14 Industrial infrastructure along the Speed River. TRACE	18
FIGURE 15 Parks and public paths are found throughout the District. TRACE	18
FIGURE 16 Typical residential character of setbacks and front lawns. TRACE	18
FIGURE 17 District Boundary Map.	44
FIGURE 18 contributing vs. Non-contributing properties within the HCD boundary.	45
FIGURE 19 District Map showing all Character Areas.	49
FIGURE 20 Select key views from within the <i>District's</i> boundary.	57
FIGURE 21 Identified gateways to the District. Gateways articulate the District's significance through built and natural heritage fabric.	59
FIGURE 22 District Map showing the Residential Character Zone.	65
FIGURE 23 Graphic of incompatible roof alterations to contributing residential properties, including removed chimneys and visible additions from the public realm, such as skylights and solar panels. TRACE	68

FIGURE 24 Graphic showing compatible roof modifications that meet the policies and guidelines for <i>contributing</i> residential properties. This includes retaining heritage attributes such as chimneys and ensuring any roof additions such as skylights and solar panels are out of view from the public realm. TRACE	68
FIGURE 25 Graphic demonstrating incompatible alterations to exterior walls of <i>contributing</i> residential properties. This includes covering original materials such as historic brick and stone. TRACE	71
FIGURE 26 Graphic demonstrating appropriate alterations to exterior walls of <i>contributing</i> residential properties. This includes the maintenance and restoration of heritage attributes such as historic materials and decorative details. TRACE	71
FIGURE 27 Graphic showing incompatible alterations to window and door openings of <i>contributing</i> residential properties. This includes the removal of architectural elements as well as altering the size and location of original openings. TRACE	73
FIGURE 28 Graphic showing modifications to contributing residential properties that meet the policies and guidelines such as maintaining original opening locations and all heritage elements. TRACE	73
FIGURE 29 Image of a good example of a porch addition to a contributing property at 93 Queen Street East. TRACE	76
FIGURE 30 Graphic showing modifications to front porches and verandas of contributing residential properties that do not meet the policies and guidelines. This includes modifications to the porch roof that is not compatible with the surrounding context, or its height that is disproportionate to the property. TRACE	77
FIGURE 31 Graphic of a porch and verandah alteration that meets the policies and guidelines. The proportions and contributing heritage elements are conserved. TRACE	77
FIGURE 32 Graphic showing an addition location that does not meet the policies and guidelines. This includes an addition of a larger scale and massing than the contributing property and a building footprint that extends beyond the property’s primary façade. TRACE	79
FIGURE 33 Graphic illustrating an addition to a contributing residential property that meets the policies and guidelines. The scale and massing of the addition is complementary and subordinate to the contributing property, and its footprint is set back from the primary façade. TRACE	79
FIGURE 34 Graphic illustrating an addition that creates a false sense of history of the property. While the addition appears to be subordinate to and complementary of the contributing property, it is not distinguishable as a contemporary addition. TRACE	81
FIGURE 35 Graphic illustrating an addition of a similar scale however the design remains distinguishable from the original property. The addition is thus legible as a contemporary addition. TRACE	81
FIGURE 36 Graphic illustrating an addition to a contributing property on a corner lot. The addition does not meet the policies and guidelines due to contrasting roof designs and the loss of symmetrical qualities to the overall property. TRACE	82
FIGURE 37 Graphic of a compatible addition to a corner contributing property. The addition honours the symmetry of the primary façade, is compatibly scaled to adjacent properties, and is distinguishable as an addition through form and setback. TRACE	82
FIGURE 38 Graphic example of an addition to a contributing property within the Residential Character Zone. TRACE	83

FIGURE 39 Image of an example of good roof addition design to a contributing property at 104 Cooper Street. The gable roof of the original property is complemented by the dormer window in the addition. TRACE	84
FIGURE 40 Image of good example of the integration of contemporary windows within existing openings. The location of the addition maintains the original opening locations and is compatible yet distinguishable from the contributing property. TRACE	85
FIGURE 41 Graphic example of new construction within the Residential Character Zone of the Hespeler HCD. Both examples show contemporary renditions residential typologies found within the District. TRACE	87
FIGURE 42 Graphic example of new construction and new accessory buildings within the Residential Character Zone of the Hespeler HCD. TRACE	87
FIGURE 43 Diagram illustrating inappropriate location for a secondary structure on a contributing residential property. TRACE	89
FIGURE 44 Diagram illustrating appropriate location for a secondary structure on a contributing residential property. TRACE	89
FIGURE 45 Diagram illustrating inappropriate scale and location of a secondary structure on a contributing residential property. TRACE	90
FIGURE 46: Diagram illustrating appropriate scale and location of a secondary structure on a contributing residential property. TRACE	90
FIGURE 47 Property at 150 Queen Street West which includes retaining walls and shrubbery as part of its front lawn. TRACE	92
FIGURE 48 Properties at 80-84 Cooper Street maintain a setback from the street and allow for space for front lawns and shrubbery. TRACE	93
FIGURE 49 <i>District</i> Map showing Commercial Core Sub-Area.	98
FIGURE 50 Diagram demonstrating signage for that follows the policies and guidelines for commercial storefront. TRACE	100
FIGURE 51 Existing typical roof lines within the commercial and industrial core. Some buildings built in the late 19 th century and early 20 th century have mansard roofs and dormers. TRACE	101
FIGURE 52 Incompatible roof alteration within the commercial core. While gable roofs are found in the wider District, it does not inspire from adjacent <i>contributing</i> properties within the commercial core. TRACE	102
FIGURE 53 Appropriate roof alteration through the use of dormers and rooflines to match adjacent properties. TRACE	102
FIGURE 54 Graphic of incompatible window modifications to contributing commercial properties. The original opening location has been altered and its heritage attributes removed. TRACE	104
FIGURE 55 Graphic of compatible window modifications to contributing commercial properties. The opening locations, sizes and architectural details are retained. TRACE	104
FIGURE 56 Graphic of modifications to the entrance of a contributing commercial property that is not in keeping with the heritage policies and guidelines. TRACE	106
FIGURE 57 Graphic showing modifications to contributing commercial properties that meet the policies and guidelines. The entry is recessed from the street and maintained in its original location. The storefront glazing is compatible with the surrounding context. TRACE	106
FIGURE 58 Graphic showing signage additions that do not meet the policies and guidelines for commercial properties. The signage should not project beyond the dedicated signage zone. Windows should not be covered by signage or other elements. TRACE	108

FIGURE 59 Graphic showing effective use of the policies and guidelines for signage additions. The signage remains within the dedicated zone above the commercial storefront at the windows are unobstructed. TRACE	108
FIGURE 60 Example of a compatible addition to a contributing property within the commercial sub-area. The roof and dormers recall the adjacent properties' opening sizes and locations. TRACE	109
FIGURE 61 Incompatible height addition to contributing property in commercial core. The addition is not set back from the streetwall and is therefore overpowering in relation to its context. TRACE	111
FIGURE 62 Compatible height addition to contributing property showing a setback from the street to maintain the 3-storey streetwall along Queen Street. TRACE	111
FIGURE 63 Graphic showing an incompatible addition to a contributing commercial property. The height disrupts the 3-storey commercial streetwall and the façade design and material palette are incompatible with its adjacent property. TRACE	113
FIGURE 64 Illustration of a compatible addition to a property. The commercial streetwall is maintained and the design of the addition recalls the historical elevation rhythm in a contemporary design. TRACE	113
FIGURE 65 Graphic illustrating a front addition to a contributing commercial property that does not follow the policies and guidelines. The addition projects onto the main street and the materials and form obscure the property's elevation. TRACE	114
FIGURE 66 Example of a compatible addition to a corner contributing property within the commercial sub-area. The returns and primary façades are retained. The addition is set back from the primary elevations and maintains the building's <i>three-dimensional integrity</i> . TRACE	114
FIGURE 67 Graphic of an addition to a <i>contributing</i> commercial property that does not meet the guidelines due to the roof shape, glazing/opening locations, and lack of architectural details. TRACE	116
FIGURE 68 Graphic illustrating a good example of a roof addition that maintains architectural elements and inspires from adjacent <i>contributing</i> properties. TRACE	116
FIGURE 69 Image showing a contributing property that has been altered, with three new window openings at the second storey, as opposed to two. This alteration is in keeping with the rhythm of openings in the adjacent contributing property. TRACE	117
FIGURE 70 Example of new construction within the Commercial Sub-Area of the District. This example maintains the scale, presence, materiality, and rhythm of the adjacent contributing properties. TRACE	119
FIGURE 71 Materials found in the Commercial Sub-Area of the District include stone, brick, wood, and plaster. TRACE	119
FIGURE 72 Image of an example of greenspace at Ellacott Lookout within the Commercial Sub-Area, which includes a series of parks and gardens. TRACE	121
FIGURE 73 Example of existing landscaping features within the Commercial Sub-Area. The use of new pavers delineates the landscaped area from the street. TRACE	121
FIGURE 74 Surface parking row along mainstreet should be prioritized over any large surface parking lots. TRACE	125
FIGURE 75 Image showing surface parking in side lots, which is not preferred. Additional design features and landscaping can help buffer parking visibility from the street. TRACE	125

FIGURE 76 Institutional buildings such as churches, libraries, and others are found within the commercial character area. The image shows one of the repurposed churches, now the Radhasoami Satsang Religious centre. TRACE	127
FIGURE 77 St Andrew’s Presbyterian Church along Queen Street East, with the former post office and former Fashion History Museum at the right. TRACE	127
FIGURE 78 District Map showing Natural Heritage Sub-Area.	129
FIGURE 79 Natural heritage landscape as seen from Jacob’s Landing. TRACE	130
FIGURE 80 The banks of the Speed River include mature trees and naturalized landscapes. TRACE	130
FIGURE 81 District Map showing Former Industrial Lands Sub-Area.	134
FIGURE 82 An example of an existing development that would not meet the policies and guidelines. TRACE	137
FIGURE 83 An alternative example of a development that would meet the policies and guidelines. The mass and scale of the development is subordinate to the contributing industrial properties. TRACE	137
FIGURE 84 Bird’s eye view of the current development south of the Speed River. This development would not meet the policies and guidelines, due to its massing and scale. TRACE	139
FIGURE 85 Bird’s eye view of an alternative development that would meet the guidelines, with the high-rise set back from the Speed River and the preference for horizontal development. TRACE	139
FIGURE 86 Smokestacks are an important character-defining element and wayfinding cue that makes the industrial area recognizable from a distance.	140
FIGURE 87 Example of poor changes to opening locations for contributing properties within the Former Industrial Sub-Area. TRACE	142
FIGURE 88 Example of implementing the guidelines and maintaining existing locations of openings within contributing properties. TRACE	142
FIGURE 89 Rendering showing compatible development massing within the north former industrial area. TRACE	145
FIGURE 90 Example of a development within the north industrial area that meets the policies and guidelines. The new development maintains a similar height as adjacent contributing properties. TRACE	145
FIGURE 91 Graphic example of the design of compatible development within the Industrial Sub-Area. This example shows a 3-storey townhouse development within the District. TRACE	146
FIGURE 92 Graphic example of compatible development within the Industrial Sub-Area. The example draws from the rhythm, materials, and scale of the contributing Industrial Properties. TRACE	146
FIGURE 93 Dams along the Speed River are part of the cultural heritage of the Former Industrial Sub-Area. Juxtaposed with the church steeples, the village-character of Hespeler and its layered history can be understood. TRACE	147
FIGURE 94 Material Palette demonstrating appropriate cladding materials. TRACE	152
FIGURE 95 Example of development as seen from the bridge at Guelph Ave looking west. The development height maintains the visibility of contributing elements such as smokestacks. TRACE	159
FIGURE 96 Graphic illustrating an example of proportions and design articulation of new construction for new development. TRACE	160

1 PLAN

FRAMEWORK

1.1 Project Background & Introduction

Urban sprawl and intensification have been advancing at increasing rates across Canada, particularly in Ontario. Urbanization, along with unchecked development, presents a challenge that frequently poses a threat to the integrity of the heritage character of small towns and villages, and often overlooks the delicate balance between growth and conservation. Architectural landmarks, historic streetscapes, and rich landscapes are vulnerable to expansion and are at risk of erasure of both built and natural heritage. The conservation of these areas is not rooted in the desire to “halt” progress or development; rather, it is about establishing a framework to guide development in a way that integrates with existing heritage resources, as well as historic context. Formally recognizing and protecting these heritage assets is an important and powerful tool for maintaining and safeguarding the unique essence of our collective past, while also ensuring future enrichment of our communities.

In 2020, Council for the City of Cambridge directed staff to commence the preliminary work for the HCD Study for Hespeler. This was done to determine suitability for a designated Heritage Conservation District. Staff identified a portion of downtown Hespeler as a draft Study Area and began the study process under the *Ontario Heritage Act*.

In 2023, the City of Cambridge retained TRACE architectures, to conduct the HCD Study of Hespeler and to assess a Study Area comprising of over 500 properties. Having completed three other HCDs within the municipality, including Blair Village, Dickson Hill, and Main Street, the City of Cambridge had already determined that the quantity and concentration of heritage resources in Hespeler was more than enough to proceed with an HCD Study. The Study Area, along with an initial list of properties situated within the Study Area, served as a guide for TRACE to proceed with property research and documentation.

1.2 Heritage Conservation District Process

The Hespeler HCD Plan provides a framework for managing change in a way that preserves and enhances the area's unique character and cultural heritage. Rooted in Part V of the *Ontario Heritage Act*, the Plan offers guidance to residents, property owners, tenants, and the City of Cambridge, ensuring that development within the District respects its historic fabric while encouraging contextually appropriate growth.

Heritage conservation districts are designated areas with a concentration of heritage resources and distinctive historical or cultural significance. Through HCD designation, municipalities gain the authority to protect both private and public realm features that contribute to a district's character. The HCD Plan and Guidelines serve as the primary tool for guiding change. This is not to prevent development, but to shape it in ways that respect the district's identity and strengthen the broader community. HCDs are widely recognized as effective tools for heritage conservation, sound urban design, and thoughtful planning.

1.2.1 HCD Study Phase

The HCD process began with a Study Phase, which assesses the cultural heritage value of a defined area. This phase involves detailed research, including historical analysis, property inventory, mapping, photographic documentation, and community consultation. The goal was to understand the area's defining heritage features and why they matter to the community.

In the case of Hespeler, the Study Area was pre-determined by the City of Cambridge, allowing for a focused assessment of the properties within its boundaries. The study evaluates the area's eligibility for designation using the criteria outlined in O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest (as amended by Bill 23, effective January 1, 2023).

1.2.2 HCD Plan Phase

This document represents the Plan Phase of the Hespeler HCD process. Building on the findings of the Study and extensive community consultation, it establishes the policies and guidelines that will shape how change is managed within the District.

The Plan identifies the area's character-defining elements, including its buildings, streetscapes, views, landscape features, and cultural associations, and outlines how these should be conserved and enhanced. It provides a clear framework for assessing alterations, new development, and public realm improvements to ensure they are compatible with the District's heritage character.

This Plan is intended to guide residents, property owners, City staff, and decision-makers by offering consistent, transparent direction rooted in the *Ontario Heritage Act*. It balances the need to preserve Hespeler's unique identity with the need to accommodate appropriate growth,

ensuring that the District continues to evolve in a way that respects its historical integrity and distinct sense of place.



FIGURE 1 Initial HCD Study Area as described in the Study Report (2024).

1.3 How to Use this Plan

This Plan is intended to better understand *Cultural Heritage Value*, *Heritage Resources* as well as provide policies and guidelines for their conservation. Parts 1, 2 and 5 include information of the District's cultural heritage value and significance, while Parts 3 and 4 include **Policies** and guidelines.

Parts 3 and 4 apply to both contributing and non-contributing properties, categorized between character sub-areas, building elements, repairs and alterations, and/or additions.

Part 1 – Plan Framework includes an introduction and overview of the Plan's organization and five Part document. Part 1 introduces the heritage value of the District, including its reasons for designation, its statement of significance, and a list of its *heritage attributes*. The Plan Framework introduces the District's boundaries and sub-areas. The introduction sets the tone of the document, identifying the goals and objectives of the District.

Part 2 – Policy Framework reviews the national, provincial, and municipal legislations that apply, including existing applicable studies, plans, and guidelines.

Part 3 – Policy and Guidelines for Contributing Properties reviews the applicable policies for contributing properties within the whole District and includes more specific guidelines relevant to contributing properties in the various sub-areas, including Residential, Commercial, Natural Heritage, and Former Industrial Lands.

Part 4 – Policy and Guidelines for Non-Contributing Properties, similar to Part 3, Part 4 reviews the applicable policies and guidelines specifically for non-contributing properties within the same sub-areas.

Part 5 – Implementation includes information and a step-by-step guide relevant to the heritage approval process for alterations and additions to properties within the District. It also reviews various available financial incentives that can assist owners in securing grants to assist with heritage conservation. Part 5 includes a section of Frequently Asked Questions (FAQ).

1.4 Boundary & Character Areas

The maps below show the Hespeler HCD boundary along with the distinct Heritage Character Areas it contains. Given the size, scale, and diversity of the District, some Policies and Guidelines apply universally across the entire HCD, while others are tailored to specific Character Areas. These areas are differentiated by colour on the maps and are described in detail in Part 3 of the HCD Plan. The Character Areas are defined as:

- Commercial/Institutional Core;
- Former Industrial;
- Residential;
- Natural Heritage Area.

1.4.1 Hespeler Heritage Conservation District Plan Boundary

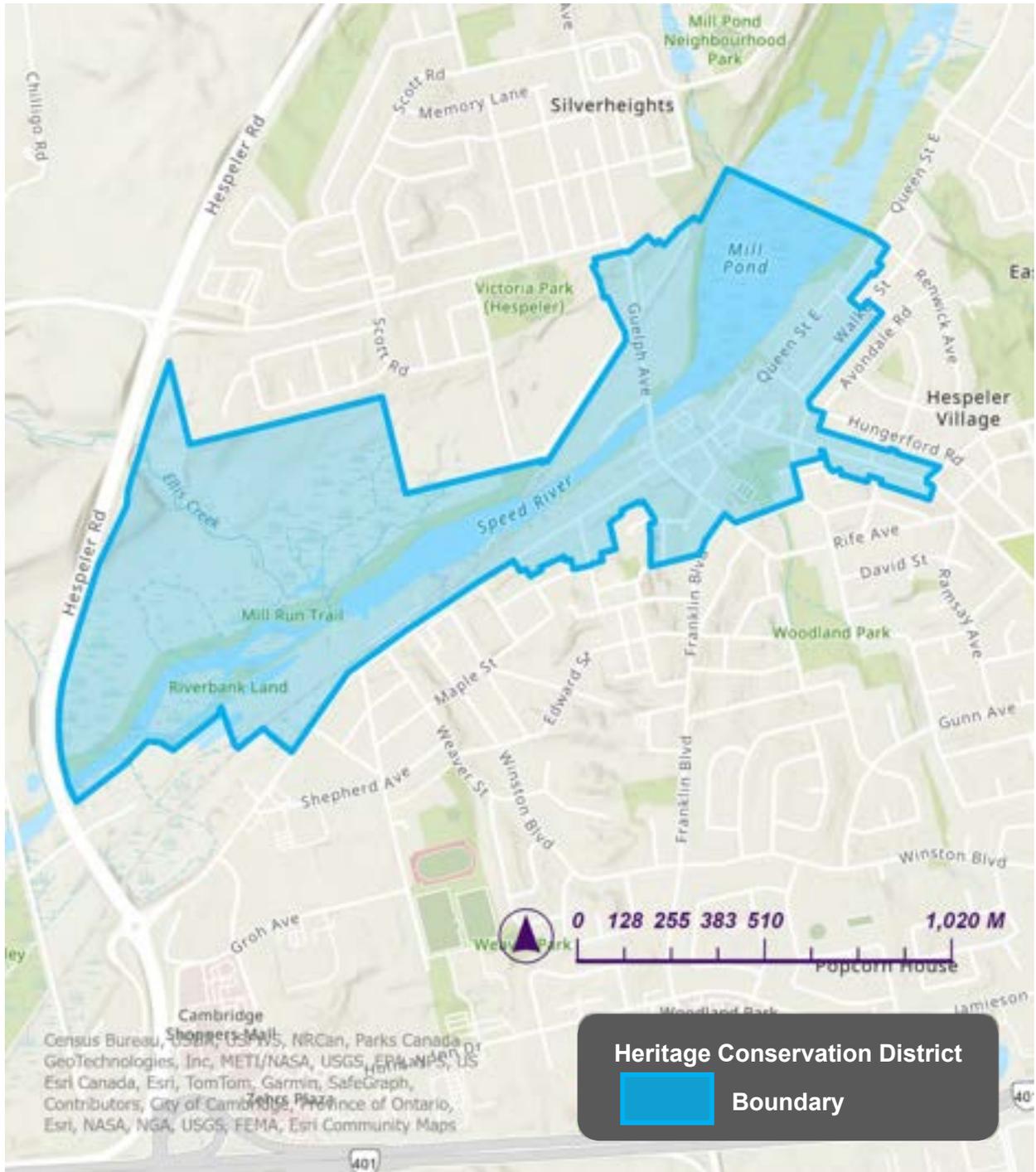


FIGURE 2 Revised HCD boundary for the Hespeler Village Heritage Conservation District.

1.4.2 Heritage Character Areas (HCA)

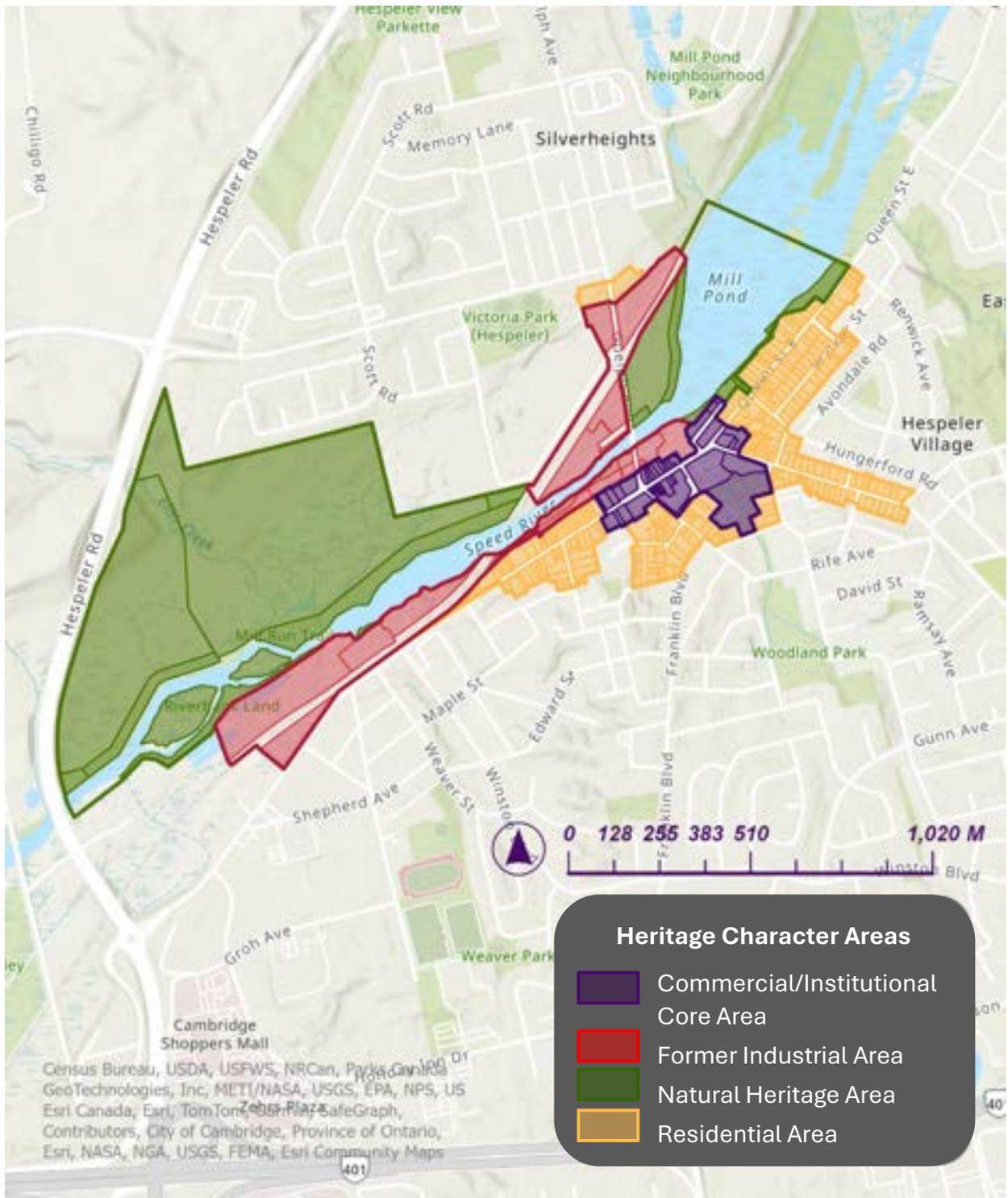


FIGURE 3 Heritage Character Areas in Hespeler Conservation District.

1.4.3 Commercial/Institutional Core

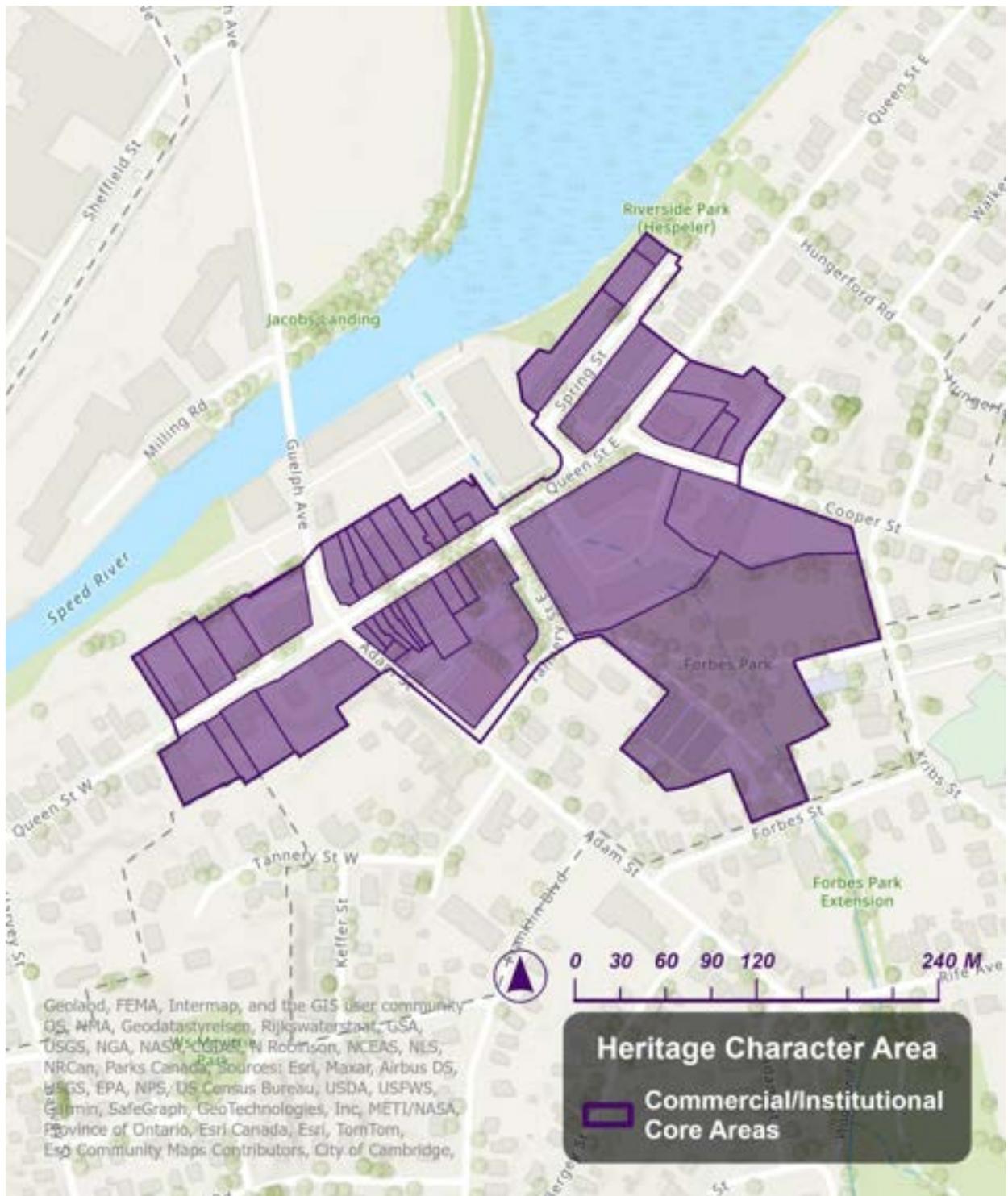


FIGURE 4 Map of Commercial/Institutional Heritage Character Area.

1.4.4 Former Industrial



FIGURE 5 Former Industrial Heritage Character Area.

1.4.5 Residential Character Area

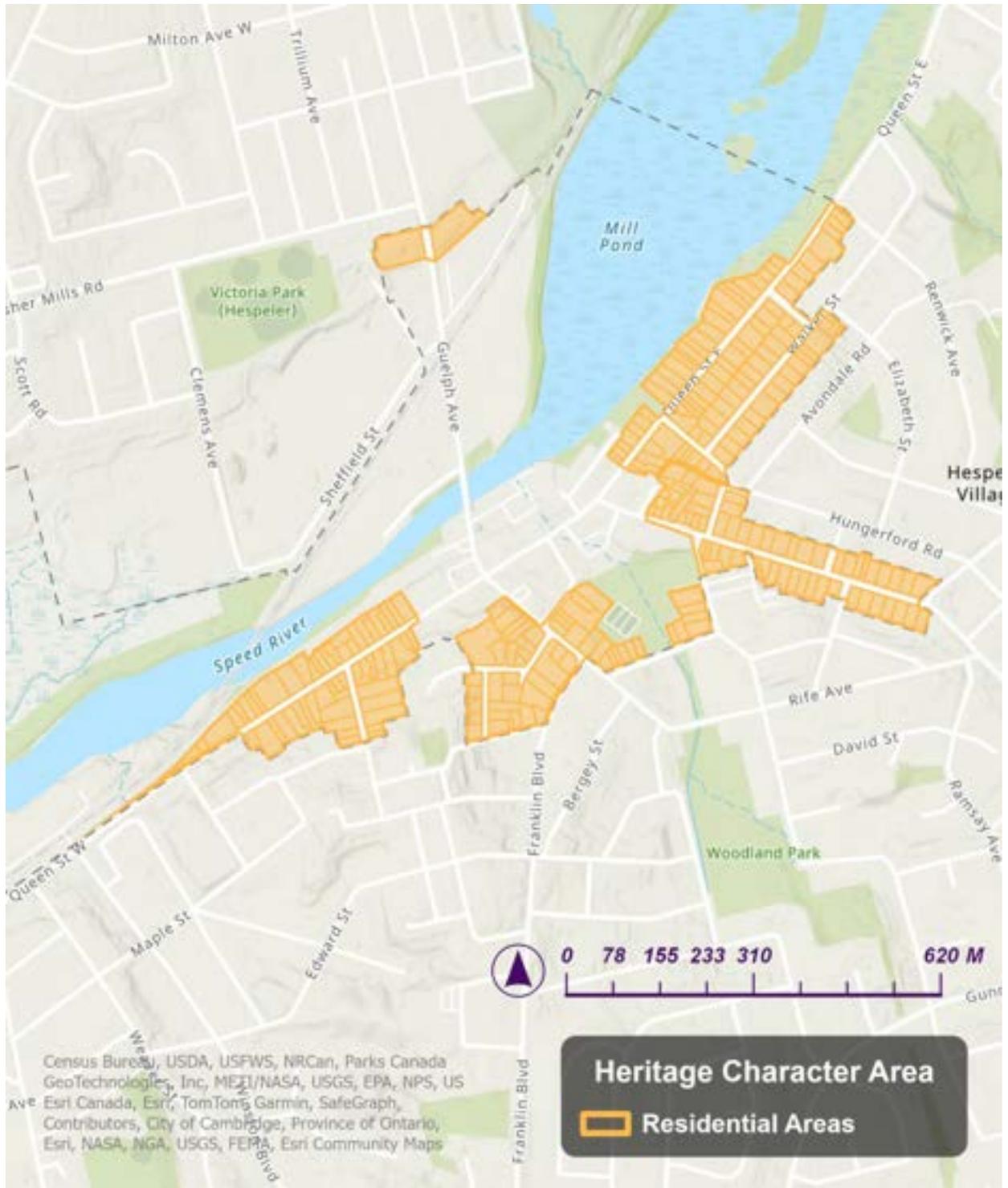


FIGURE 6 Residential Character Area within the whole district.

1.4.6 Natural Heritage Areas



FIGURE 7 Natural Heritage Character Area.

1.5 Statement of Significance & Heritage Attributes

1.5.1 Description of the Historic Place

Hespeler is located on the Speed River, within the City of Cambridge, in the Region of Waterloo. Long before European settlement, the area formed part of the traditional territory of the Haudenosaunee and was home to the Neutral peoples, with the Speed River and the wider Grand River watershed serving as vital cultural and ecological lifelines for First Nations. When settlers arrived in the mid-1800s, the river's power and resources shaped the establishment of Hespeler as a mill village, giving rise to early industrial development and, in turn, a truly mixed village of multiple industries, residential enclaves, a commercial High Street (Queen Street), and significant institutional and recreational attributes. This organic development pattern is clearly defined and supports an inspiring and unique mixed village character, deriving its charm from the interplay of Indigenous and settler histories, the interesting topography, the river and its views, and the small-scale vitality of early North American villages that have withstood the spectre of modern zoning and exponential growth, with its demolitions and siloed separation of uses.

The District includes commercial, residential, industrial, and institutional buildings located on the north and south sides of the Speed River. The street grid is also skewed by Hespeler's hilly topography, resulting in many interesting views and vistas throughout the elevated residential areas. The commercial core that developed on the south side of the Speed River is dominated by Queen Street (divided east and west by Adam Street and Guelph Avenue) and runs parallel to the Speed River. The small commercial core is a modest collection of retail and residential buildings from a range of periods, punctuated by more architecturally expressive institutional buildings such as churches, the former Post Office, the former Town Hall, and the Library. Spring Street includes workers' housing, built in the mid 19th century, for those who worked in the mills. Queen Street West is marked by early commercial buildings, such as the Queen's Hotel and the larger commercial blocks on the south side, transitioning quickly to historic, vernacular residential properties. The former Forbes Textile Mill, a National Historic Site, anchors the suggested District's western boundary.

Residential streets offshoot from the main core, including many named after the industrial founders of Hespeler. The skewed street grid on the western side of Hespeler is marked by the steep hillside topography. As a result, the orientation of the streets offers views toward the Speed River 'valley,' with mixed architectural styles and several early stone and wood homes built in the late 19th century. Eastern residential areas such as Cooper Street, present a southern gateway into the village, with larger stone homes and farmhouses, mixed with modest and modern housing, large lots, and a slope culminating in iconic religious and institutional buildings at the corner of Cooper and Queen Street East. Walker Street is another residential neighbourhood, with architecturally significant homes that once belonged to prominent members of the local community, such as merchants, executives, and artists.

North of the Speed River, up Guelph Avenue, includes the bulk of impressive surviving mills and factories, with the historic residential neighbourhoods set north of the industrial sector. Hespeler has a significant number older industrial buildings in the Cambridge area, with many buildings still intact, and several still in industrial use. This industrial area is characterized by the factories that made Hespeler a prosperous centre.

Uphill from the industrial core, the residential section of Guelph Avenue contains the former homes of historically significant members of Hespeler’s industrial elite, such as the Forbes Estate, Kribs-Barber House, and the original home of Jacob Hespeler. Set on a hill, overlooking the industrial area, these stately homes are built of ashlar limestone, red and yellow brick, and their grandeur displayed these families’ influence and prominence in Hespeler.

1.5.2 The Speed River

Hespeler developed over time on both sides of the Speed River, a waterway that has long been significant to Indigenous Nations as part of the wider Grand River watershed, valued for its cultural, ecological, and spiritual connections. The river runs through the centre of town and is characterized by two engineered dam structures: the Speed River Dam, built by Jacob Hespeler in the mid-19th century immediately east of Guelph Avenue, and the Silknit Dam, constructed in 1906 adjacent to the former Forbes Textile Mill. The Mill Run Trail follows along the northern shoreline for approximately 6.5 km, crossing through the Chilligo Conservation Area and terminating at Riverside Park. Today, the river features both natural and cultural elements and is divided east–west by the bridge on Guelph Avenue. The riverbanks to the east are largely natural, with ledges, park space, waterfront vegetation, and boat launches for watersports, while the western section shows the layering of industrial development, including stone and concrete retaining walls, former industrial buildings, and a railroad bridge, alongside areas of naturalized vegetation.

1.5.3 Cultural Heritage Value

The area now known as Cambridge, Ontario, is part of the traditional territory of the Haudenosaunee and was historically inhabited by the Iroquoian-speaking Neutral peoples prior to European contact. These Nations stewarded and maintained relationships with the land and waterways, including the Speed River, long before the arrival of settlers. The Speed River is one of the main tributaries of the Grand River, which has been a cultural lifeline for many First Nations for thousands of years.

The Grand River flows from Dundalk through rural and urban landscapes to Port Maitland on Lake Erie. It is known by many names, including *Ó:se Kaniataratátié*, a Mohawk name meaning “Willow River,” and *Pesshinneguning*, an Anishinaabemowin (Ojibwe) name meaning “the one that washes the timber down and drives away the grassweeds.” These names reflect the deep traditional connections between the river and the land, and the people who have long called the watershed home. The Speed River, as a tributary, shares in this cultural and ecological significance, and continues to be part of a living cultural landscape for First Nations.

Colonial settlement in what became Hespeler began in the mid-19th century along the shores of the Speed River. The transformation of the river landscape through milling and industrial activity marked a period of rapid settlement and economic development, which overlaid an established First Nation cultural landscape. The existing natural form of the river valley, once a source of sustenance and cultural connection, was repurposed to serve industrial uses. This shift introduced a layered history of competing values, where settler infrastructure often displaced or obscured longstanding Indigenous presence and relationships with the land.

Today, the area retains a unique sense of place shaped by the interaction of natural features and the built environment. The cultural heritage value of downtown Hespeler is linked to both its colonial industrial history and its deeper significance as a river-based cultural landscape. Key elements include the 19th-century mill town character, small-scale urban form, and evolving uses of the river corridor. While the surviving industrial, commercial, institutional, and residential buildings express the growth of a settler economy, the river itself remains a vital cultural feature tied to the enduring presence and values of First Nations.

The physical form of the town, shaped by the narrow river valley and surrounding hills, includes a tightly composed core with elevated residential areas. Industrial buildings, bridges, and public green spaces throughout the District reflect both settler-era development and offer opportunities to re-recognize the landscape as layered and contested. The river continues to function as a cultural landscape corridor, offering a setting for recreation and reflection, and as a backdrop for adaptive reuse of industrial sites.

Recognizing the full history of this place, including the historical and contemporary connections of First Nations to the Grand and Speed Rivers, is essential to understanding its cultural heritage.

1.5.4 Description of Heritage Attributes

- The geography of the river allowed for the siting of many industrial buildings to take advantage of the natural flow of the river, harness waterpower, and establish prosperous factories along the Speed River and supporting settlement and growth (Figure 7);
- The collection of 19th and early-20th century commercial architecture along Queen Street East and West, in stone, brick and wood-frame construction, and a small-scale rhythm of individual storefronts with independent entrances, which reflects the commercial development of these streets during the late 19th century (Figure 8);
- Limited setbacks and sections of continuity along Queen Street East and West commercial buildings, characterized by the typical placement of commercial buildings at the lot-lines and the sidewalk frontage, of two- or three-storey heights, with flat, shed, and mansard roofs (Figure 9);
- Unique architecture of Queen Street East and West residential, featuring vernacular construction, mixed materials, projecting balconies, gothic style windows, limited setbacks, river access on the north side of the street, and large lots providing access to the river via rear yards, especially on Queen Street East (Figure 10);

- Landmark buildings in late-19th and early 20th century architectural styles in the commercial area, which reflect key civic and religious buildings (Figure 11);
- The collection of residential buildings built during the key periods of Hespeler's development between 1830 and 1930, reflecting its growth and prosperity, including examples of worker's cottages, Ontario Vernacular, Gothic-Revival, and Edwardian styles, as well as fine stone and yellow brick construction (Figure 12);
- Significant views of key heritage attributes from a distance, including views of the town's rooflines, steeples, and smokestacks from streets descending into the District (Figure 13);
- The presence of open and green landscape spaces that permit public enjoyment of heritage resources and commemorations, including a network of pedestrian paths, riverfront parks, linear parks, and bridges oriented around the river (Figure 14);
- Residential neighbourhoods on Cooper and Walker Streets with mature tree canopy and a variety of architectural styles, deeper setbacks, larger lots, and large homes, gently sloping towards the commercial core downtown (Figures 15 and 16);
- Its hilly site precluded the laying out of extensive public open spaces in the downtown core, but over time, the natural setting, as well as former industrial sites, became venues for informal recreation;
- The presence of industrial infrastructure in the river, including the vehicle and railroad bridges, the dams, and the Mill Pond (Figures 7 and 13);
- Large-scale industrial buildings along the river's edge and surrounding area that serve as a tangible reminder of the origins of Hespeler's industrial foundations and prosperity (Figure 7); and
- A variety of social and cultural activities hosted in downtown Hespeler, which are facilitated by the commercial core and central gathering spaces of Forbes Park, which have served community-based initiatives, ceremonial, and parade routes, as well as commemorative devices that integrate Hespeler's historical events with the everyday experience of place. Examples include the Santa Claus Parade and the bee hives on lamp posts, (the beehive came to represent the busyness of the Hespeler community) (Figures 9 and 10).

FIGURE 8 Industrial buildings along the Speed River. TRACE



FIGURE 9 Typical mainstreet buildings within the commercial area. TRACE



FIGURE 10 Commercial area along Queen Street. TRACE



FIGURE 11 Former Hespeler Hotel at 39 Queen Street East. Limestone, vernacular Georgian, ca. 1841. TRACE



FIGURE 12 Institutional buildings within the commercial area. TRACE



FIGURE 13 Typical residential typology of an Ontario Cottage. TRACE



FIGURE 14 Industrial infrastructure along the Speed River. TRACE



FIGURE 15 Parks and public paths are found throughout the District. TRACE



FIGURE 16 Typical residential character of setbacks and front lawns. TRACE



1.6 Goals and Objectives

HCDs provide for the conservation of cultural heritage resources policies and guidelines that will assist in the protection and enhancement of the cultural heritage value of a District. District designation enables City Council to manage and guide future change in the area. HCDs take many different forms and variations, depending on the location and its history. However, they form an integral part of Ontario’s cultural heritage and contribute to an understanding and appreciation of the cultural identity of the place, and as a collection, the province.

Specific objectives of this Plan are set out below. Although the following objectives are numbered, the numeric sequence does not establish a priority among the objectives.

1. Overall Heritage: Conserve and enhance the *cultural heritage value* and character-defining elements of the HCD, including built forms, street and landscape elements, and landmarks that contribute to Hespeler’s sense of place;
2. Natural Heritage: Maintain and enhance the natural landscape and public realm of Hespeler that contribute to the HCD, including, but not limited to, the Speed River, retention of park spaces, open green spaces, and public river access;
3. Natural Heritage: Protect the existing natural features of the watercourses and encourage the creation of new trails or other amenities to promote accessible public access and enjoyment of these natural resources;
4. Built Heritage: Encourage the conservation, rehabilitation, adaptive reuse, and maintenance of contributing existing buildings that express the heritage character of the HCD, while providing guidelines on appropriate change to the buildings;
5. Built Heritage: Develop alteration, infill, and new development guidelines with the primary goal of promoting compatible development on fallow or non-contributing properties, that appropriately manages and preserves the cultural heritage value of the area’s history;
6. Built Heritage: Ensure that new construction and development on vacant, underdeveloped lots and on large parcels responds to the character of contributing properties through their retention and the compatible design of new structures;
7. Natural/Built Heritage: Encourage the revitalization of vacant and underdeveloped lots such as, but no limited to, former industrial properties along the waterfront, in an effort to safeguard the natural landscape and its associated cultural heritage value;
8. Natural/Built Heritage: Reinforce and conserve the District’s significant built forms, streetscapes, materiality, and character that reflect its historic commercial, civic, institutional, and industrial uses and cultural heritage values by:
 - 8.1. Develop appropriate setbacks and step backs for new development;

- 8.2. Maintain and establish architectural details and consistent street walls where appropriate and which support accessible, vibrant, and walkable pedestrian environments;
 - 8.3. Maintain, conserve, and enhance the historic residential character of the streets and neighbourhoods adjacent to the commercial core, particularly as exemplified in its intact historic streetscapes, through the use of harmonious materials, height limits, architectural details or other design measures, enhanced and protected tree canopy, and views to the river or park space;
 - 8.4. Encourage the enhancement and conservation of natural “gateways” to downtown Hespeler, including the Guelph Avenue Bridge entry, the Queen Street West entry, Cooper Street entry, and Queen Street East entry;
 - 8.5. Promote the enhancement of the public realm, through the commemoration and interpretation programmes of historical themes, including, but not limited to the industries that have shaped Hespeler, such as the textile industry.
9. Overall Heritage: Incorporate the policies and guidelines of the HCD Plan into the regulatory framework of the City of Cambridge, and other studies and programs to encourage the conservation and enhancement of the HCD;
 10. Overall Heritage: Enhance the Heritage Permitting process to assist property owners with conservation, maintenance, and alteration efforts, as well as provide guidance for appropriate restoration, repair, and on-going maintenance of all buildings within the District;
 11. Overall Heritage: Encourage active participation from residents, property owners, and businesses, in the promotion and implementation of the HCD, including development of a streamlined and proactive heritage permitting process with the City to ensure that requirements of property owners are understood early in the process and revisions to project plans are mitigated and reduced.

2 POLICY FRAMEWORK

2.1 National Framework

2.1.1 Standards and Guidelines for the Conservation of Historic Places in Canada (2011)

The Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines) serve as the first Canadian benchmark for heritage conservation practices. They provide comprehensive guidance, making informed decisions regarding the planning, intervention, and utilization of historic places and aiming to establish a consistent set of principles and guidelines across Canada. This document is especially important for ensuring sound conservation practices and is widely adopted by various levels of government for assessing conservation interventions on historic places.

The document underwent revisions for its second edition, which was issued by Parks Canada in 2011. These revisions aimed to address feedback in order to clarify the relationship between the standards and guidelines and statements of significance, enhance the explanation of the conservation decision-making process, provide a clearer interpretation of the 14 standards, add guidance for sustainability related interventions, and address new topics, such as cultural landscapes and the conservation of modern materials. The guidelines also expanded to offer more comprehensive advice for archaeological sites and engineering works, among other areas.

The Standards and Guidelines emphasize a three-phase conservation decision making process: understanding the historic place through research and investigation, planning for its conservation while considering all factors affecting its future, and intervening in a manner that respects and protects the site's heritage value. The document outlines specific standards for general

conservation practices, rehabilitation, and restoration, ensuring that any physical changes to character-defining elements are minimized and compatible with the historic places overall character.

2.1.2 The Standards & HCDs

The Standards and Guidelines significantly support and reinforce the establishment of heritage conservation districts by providing a detailed framework for the conservation of cultural landscapes, including heritage districts. This document helps in understanding, planning, and intervening in historic places to maintain their heritage value, which is imperative for the conservation of HCDs. The guidelines offer practical advice and a consistent set of principles which may be applied to the diverse character and requirements of each HCD, whether they are residential, commercial, institutional, or a mix of these, often incorporating natural heritage features such as green spaces and waterways.

Municipalities across Ontario use the Standards and Guidelines as a reference point when reviewing heritage permit applications for alterations, demolitions, or new construction within HCDs. The document ensures that any changes respect the heritage values and character-defining elements of the district, maintaining the district's overall heritage integrity. This approach is visible in the detailed processes and requirements set out for permit applications within HCDs, which include providing comprehensive plans, drawings, and specifications, that clearly show how the proposed changes align with heritage character of the area.

The Standards and Guidelines provide a foundational framework that supports the establishment, management, and conservation of heritage conservation districts, ensuring that the heritage and character of these districts are preserved for future generations.

2.2 Provincial Legislation

2.2.1 Ontario Heritage Act

The *Ontario Heritage Act* (OHA) is a provincial statute that provides a framework for identifying, preserving, and protecting cultural heritage properties and archaeological sites. Enacted in 1975, the Act enables municipalities and the provincial government to designate properties of historical, architectural, archaeological, or cultural significance, to ensure their conservation for future generations.

Key components of the *Ontario Heritage Act* include:

- **Designation of Heritage Properties (Part IV):** The Act allows for the designation of properties as being of cultural heritage value or interest. This is done individually. A designated property is subject to legal protections and restrictions to ensure its preservation;
- **Heritage Conservation Districts (Part V):** The Act enables the creation of Heritage Conservation Districts within municipalities. These districts are areas with a concentration of heritage properties that are protected and managed through district plans to maintain their historical integrity;
- **Heritage Permits:** For individually designated heritage properties or properties within HCDs, owners must obtain consent from the local municipal heritage committee or the municipality before making significant alterations, demolitions, or new constructions that might affect the heritage attributes of their property or those of the *District*, as determined by the municipality;
- **Municipal Heritage Committees:** The Act encourages the establishment of municipal heritage committees, which advise local councils on heritage matters, including property designations, alterations to designated properties, and HCD plans;
- **Heritage Easements:** The Act allows for heritage easements, which are agreements between property owners and the Ontario Heritage Trust or municipalities to protect and preserve the heritage attributes of a property;
- **Ontario Heritage Trust:** The Act established the Ontario Heritage Trust, an agency of the provincial government with a mandate to identify, preserve, protect, and promote Ontario's built, cultural, and natural heritage;
- **Archaeological Sites:** The Act provides a framework for the conservation and protection of archaeological sites, requiring reporting and assessment of sites where archaeological resources are discovered or expected.

The *Ontario Heritage Act* represents an important tool for heritage conservation, empowering local communities and the provincial government to work together in preserving Ontario's rich historical and cultural legacy.

2.2.1.1 Part V: Heritage Conservation Districts

A HCD is a specific area within a municipality that is recognized for its special character and heritage value, which is protected and managed through policies and guidelines under the *Ontario Heritage Act*. The Act allows municipalities to designate areas as HCDs to conserve and enhance the character of historic neighbourhoods, landscapes, or areas, including their built heritage, cultural heritage landscapes, and archaeological resources.

HCDs are geographically defined areas within a municipality, recognized for their distinct heritage character. They can vary greatly in size and character, from single properties to large neighbourhoods, and are designated under local bylaws to conserve their heritage attributes. These districts can include a mix of residential, commercial, institutional, and natural heritage features, each contributing to the overall heritage character of the area.

2.2.1.2 O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest

The Criteria for Determining Cultural Heritage Value or Interest (O. Reg. 9/06), amended by O. Reg. 569/22, part of the *Ontario Heritage Act*, sets standardized criteria for assessing cultural heritage value, which municipalities must apply when designating properties. It was introduced to bring consistency to the designation process, ensuring that properties meet a comprehensive set of heritage value criteria before being designated. This regulation, along with O. Reg. 10/06, has significantly influenced heritage conservation practices in Ontario, guiding both municipal decisions and the Ontario Land Tribunal (OLT) evaluation of heritage properties.

For an HCD to be designated under the updated regulations, at least 25% of the properties within the District or defined area must satisfy two or more of a set criterion. These criteria assess various aspects of the properties, including their design or physical value, historical or associative value, and contextual value. This means that not all properties within an HCD need to meet the heritage criteria individually. However, a significant portion (i.e. minimum 25%) must meet these standards to collectively uphold the District's heritage value.

In order for a property to be considered as a contributor to heritage character of an area, it must meet two or more of the following criteria:

1. **Design Value or Physical Value:** Properties that are rare, unique, representative, or early examples of a style, type, expression, material, or construction method;
2. **Design Value or Physical Value for Craftsmanship:** Properties that display a high degree of craftsmanship or artistic merit;
3. **Design Value or Physical Value for Technical Achievement:** Properties that demonstrate a high degree of technical or scientific achievement;

4. **Historical Value or Associative Value for Direct Association:** Properties that have a direct association with a theme, event, belief, person, activity, organization, or institution, that is significant to a community;
5. **Historical Value or Associative Value for Potential to Yield Information:** Properties that yield, or have the potential to yield, information that contributes to an understanding of a community or culture;
6. **Historical Value or Associative Value for Work or Ideas:** Properties that demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist, who is significant to a community;
7. **Contextual Value for Character:** Properties that define, maintain, or support the character of the *District*;
8. **Contextual Value for Linkage:** Properties that are physically, functionally, visually, or historically linked to each other;
9. **Contextual Value for Landmark Status:** Properties that are defined by, planned around, or are themselves, a landmark.

2.2.2 Ontario Heritage Toolkit

The Ontario Heritage Toolkit is a collection of guides designed to assist municipalities, heritage professionals, and the public, in understanding and implementing the provisions of the *Ontario Heritage Act*. The Toolkit provides practical advice and detailed procedures for identifying, preserving, and managing cultural heritage resources in Ontario. It is particularly useful for those involved in heritage conservation at the local level, offering clear explanations of the legal and policy frameworks, as well as best practices. It should be noted that the Toolkit was very recently updated by the Ontario Ministry of Citizenship and Multiculturalism (MCM) and the old version has now been replaced. While this project commenced prior to the updated Tool Kit, the team has made every effort to reflect the updated changes.

2.2.2.1 Ontario Heritage Toolkit – 2025 Update

The Ontario Heritage Toolkit is a collection of guides developed by the Ontario Ministry of Citizenship and Multiculturalism to assist municipalities, heritage professionals, and the public in interpreting and applying the *Ontario Heritage Act* (OHA). In May 2025, the Toolkit was comprehensively updated for the first time in over a decade to reflect significant legislative and regulatory changes, including those introduced through Bills 108, 23, 139, and 200, as well as new provincial regulations (O. Reg. 9/06 and 385/21).

These updates respond to evolving priorities in land use planning, housing, and climate adaptation, and bring much-needed clarity to roles, procedures, and best practices in heritage conservation. The revised Toolkit places greater emphasis on transparency, consistency, and integration with broader municipal policy frameworks. While our study commenced prior to the release of the 2025 Toolkit, its updated structure and guidance inform the interpretation of the

Ontario Heritage Act and will shape how municipalities approach designation and long-term conservation going forward.

The Toolkit is divided into several volumes, each addressing a key component of heritage planning and protection under the Act. The volumes include:

- Your community, your heritage, your committee
- Heritage property evaluation;
- Designating heritage properties;
- Heritage conservation districts;
- Heritage places of worship.

The volume on HCDs, under Part V of the Ontario Heritage Act, is a cornerstone of the Toolkit. It provides comprehensive and practical guidance for establishing and managing HCDs, which are critical tools for protecting the broader cultural landscape and historic character of neighbourhoods, main streets, and rural settlements, not just individual heritage properties.

Key updates and content include:

- **Overview and Purpose of HCDs:** Reinforces the role of districts in preserving collective cultural heritage and managing compatible change over time.
- **Legal and Procedural Framework:** Clarifies legislative responsibilities for municipalities, property owners, and other stakeholders—particularly in light of tighter timelines and appeal mechanisms introduced by recent legislative amendments.
- **Step-by-Step Process for Establishing an HCD:** Updated guidance on how to initiate and conduct an HCD study, engage the community, evaluate heritage attributes using O. Reg. 9/06 criteria, and complete the designation process through a formal by-law under Part V.
- **District Plans and Implementation:** Expanded direction on developing robust HCD Plans, including clearer expectations for policy structure, alteration guidelines, design review processes, and how to evaluate applications for new construction and demolition within the district. The 2025 edition stresses the enforceability of district plans and their alignment with other municipal tools such as zoning by-laws and official plans.
- **Ongoing Management and Conservation:** Includes strategies for monitoring change, applying consistent decision-making frameworks, and integrating cultural heritage impact assessments (CHIAs) into development review processes.
- **Best Practices and Case Studies:** Real-world examples illustrate how municipalities have successfully implemented HCDs, including challenges and innovations in balancing development and conservation.
- **Tools and Templates:** The Toolkit includes new model documents, such as evaluation checklists, public notice templates, and district plan outlines, to support consistent application of best practices.

This volume reaffirms the importance of community engagement and municipal leadership in heritage planning. It recognizes that well-managed districts not only protect built form, but also contribute to environmental sustainability, cultural identity, and livable urban form. The 2025 update promotes a collaborative, policy-aligned, and legally defensible approach to HCD implementation that is sensitive to local context while responsive to provincial planning objectives.

2.2.3 Provincial Planning Statement, 2024

The Provincial Planning Statement (PPS) 2024, issued on 20 August 2024, has replaced the 2020 PPS as Ontario’s primary land use planning document. The primary motivator behind the 2024 update is the government’s effort to cut red tape and create a more streamlined path to increasing housing construction across the province. This overarching goal is reflected in how the policies have been presented, namely, to facilitate faster development processes, particularly in areas such as settlement expansions and infrastructure development. The PPS 2024 came into effect October 20, 2024.

In terms of heritage impacts, the 2024 PPS introduces significant changes, including a stronger focus on Indigenous engagement, proactive conservation strategies, and adapting to climate change. Overall, while some elements from the 2020 PPS have been removed or de-emphasized, the 2024 PPS appears to balance heritage conservation with the need for accelerated growth and development, by creating a more integrated framework for managing Ontario’s cultural heritage within the context of these broader goals. This framework is intended to ensure that heritage is not treated as a separate or isolated issue but rather incorporated into the overall planning process. This integration involves more proactive strategies for heritage conservation; to help ensure heritage resources are considered early in the planning process, particularly in areas that have been targeted for significant development.

The 2024 PPS focuses on several key areas that reflect the Ontario government’s priorities for land use planning and development. These focus areas are designed to support growth, development, and sustainability across the province. Key principles and policy areas include:

- **Housing Supply and Affordability:** The 2024 PPS prioritizes increasing housing supply and affordability by streamlining development processes and encouraging higher density in urban areas;
- **Settlement Area Expansions and Intensification:** Supports expanding settlement areas and promotes intensification to accommodate growth efficiently and sustainably;
- **Infrastructure Development and Modernization:** Emphasizes developing and modernizing infrastructure, including transportation and utilities, to support economic growth and connectivity;

- **Economic Development and Job Creation:** Focuses on fostering economic development and job creation through the development of employment lands and strategic growth areas;
- **Climate Change Adaptation and Resilience:** Integrates climate change adaptation into planning decisions to enhance community resilience and manage natural hazards;
- **Heritage and Cultural Resource Management:** Includes provisions for conserving cultural heritage and archaeological resources, with a focus on Indigenous engagement and proactive strategies;
- **Sustainable Land Use and Resource Management:** Promotes sustainable land use practices to balance growth with the protection of agricultural, natural, and cultural resources.

The PPS provides a broad framework, requiring that all decisions related to land use planning “shall be consistent with” the Provincial Policy Statement. Municipalities and decision makers must interpret and apply these policies within their local context, considering other provincial interests and policies, as well as local circumstances and priorities. The PPS is intended to balance flexibility for local decision making with provincial interests, ensuring that the growth and development across Ontario occurs in ways that are sustainable, resilient, and aligned with provincial goals.

2.2.3.1 Heritage Conservation Districts and the PPS

In addition to the focus areas noted above, the PPS also provides policy guidance on the conservation of cultural heritage resources. When it comes to the designation of a HCD under the *Ontario Heritage Act*, the PPS sets a broader policy framework which encourages the conservation of cultural heritage and built heritage resources as part of promoting sustainable and healthy communities.

The PPS supports the conservation of these heritage resources by:

- Encouraging the conservation, use, and management of resources in a manner that maintains their heritage, cultural, and archaeological value for present and future generations;
- Advising on integrated planning approaches that consider cultural heritage and archaeological resources as part of making decisions on land use planning;
- Encouraging adaptive reuse of heritage buildings and structures to maintain their heritage value while accommodating new functions, which can contribute to reducing urban sprawl and promoting more efficient land use.

While the PPS provides the policy framework, the actual designation, protection, and management of heritage conservation districts are more directly governed by the *Ontario Heritage Act*, which empowers municipalities to enact By-laws for the designation of these *Districts*. The PPS reinforces the importance of these *Districts* within the broader context of

2 POLICY FRAMEWORK <> 2.2 PROVINCIAL LEGISLATION

provincial land use planning objectives, ensuring that their conservation is considered, alongside other provincial interests, such as economic development, environmental protection, and the efficient use of land and infrastructure.

2.3 Municipal Policy and Legislation

2.3.1 City of Cambridge Official Plan (2018)

The City of Cambridge's 2018 Consolidated Official Plan is a strategic policy document which directs general land use within the City. It aims to support long-term growth and development and address community needs, while conforming to the Region of Waterloo Official Plan and the Provincial Growth Plan for the Greater Golden Horseshoe. The plan covers various areas including housing, commercial, industrial, cultural heritage, natural heritage, agricultural, parks and open space, as well as transportation and infrastructure. It is a legal document, periodically reviewed to meet the city's evolving needs and to align with higher-level policies. Public input is sought before any changes are finalized, with the amendment process outlined in Ontario's *Planning Act*.

Additionally, the City of Cambridge has adopted several master plans since 2008, focusing on areas such as arts and culture, cycling, communications, core areas, corporate sustainability, technology, and economic development. Each plan contains specific goals, strategies, and actions, tailored to improve different facets of city life, from enhancing cultural life to guiding investments in cycling infrastructure, promoting sustainable practices, and fostering economic growth.

2.3.1.1 Official Plan Sections Relevant to Hespeler HCD Study

Chapter 4: Cultural Heritage Resources

- **Section 4.1: Objectives:** These objectives support the conservation of the City's built heritage, coordinate heritage interests with various stakeholders, and promote heritage as a component of tourism and quality of life;
- **Section 4.2: Priorities for Cultural Heritage Resources:** This section prioritizes the conservation of cultural heritage resources, promoting the integration of these resources into new developments in a way that preserves their heritage value;
- **Section 4.7: Designation of Heritage Conservation Districts:** This section outlines the process for designating areas as HCDs, including the preparation of a study to identify the character, significance, and boundaries of the area. It also describes the contents of a HCD Plan, which includes objectives, heritage value statements, descriptions of properties, policy statements for managing change, and procedures for alterations and demolitions within the *District*;
- **Section 4.8: Cultural Heritage Landscapes:** Although this section primarily addresses larger landscapes, it is relevant to HCD as it involves the identification, conservation, and designation of significant landscapes, which may include or overlap with HCDs;

- **Section 4.9: Heritage Character Areas:** This section introduces the concept of Heritage Character Areas as geographical areas of heritage significance. It mentions that policies for recognizing these areas will be developed and incorporated into the Plan;
- **Section 4.10: Cultural Heritage Impact Assessment (CHIA):** This section requires a CHIA for developments that could affect listed and designated properties, cultural heritage landscapes, or non-designated resources of cultural heritage value.

2.3.1.2 Official Plan Maps

The City of Cambridge Official Plan maps that are most relevant to Hespeler include:

- Map 5: Hespeler Village;
- Map 6: Regeneration Areas;
- Map 7A: Major Transportation Facilities and Hydro Corridors;
- Map 7B: Regional Transit Network;
- Map 8: Provincially Identified Former Waste Disposal Sites;
- Map 9: Regional Environmental Features;
- Map 10: Floodplains;
- Map 11: Preston, Hespeler and Groff Mill Creek Two-Zone Floodplain Policy Areas;
- Map 13: Sub-Watersheds and Drainage Areas;
- Map 15: Source Water Protection Areas.

2.3.2 Density, Heights, and Zoning Updates

The following are the City's minimum and maximum residential densities and heights in specified areas. Residential densities in residential designations are subject to Policy 8.4.6.3. Hespeler has been identified as a Regeneration Area under the Official Plan (Map 6A), encompassing most of the Hespeler Heritage HCD.

Table 3: Minimum and Maximum Residential Densities and Heights
FSI – Floor Space Index (see glossary for graphic depiction)

AREA	MINIMUM		MAXIMUM	
	Density	Height	Density	Height including above ground parking structures
<i>Urban Growth Centre</i> subject to a gross density as prescribed in section 2.6.2	0.75 FSI	2 storeys	2.5 FSI	5 storeys
<i>Galt City Centre</i> outside <i>Urban Growth Centre</i>	0.5 FSI	2 storeys	2.0 FSI	5 storeys
<i>Preston Towne Centre</i> and <i>Hespeler Village</i>	0.5 FSI	2 storeys	2.0 FSI	5 storeys
<i>Nodes (Designated Greenfield Area)</i>	0.5 FSI	4 storeys	2.5 FSI	15 storeys
<i>Nodes (Built up Area)</i>	0.5 FSI	4 storeys	2.0 FSI	12 storeys
<i>Regeneration Areas</i>	0.5 FSI	2 storeys	2.0 FSI	8 storeys
<i>Reurbanization Corridors</i>	0.5 FSI	2 storeys	2.0 FSI	8 storeys

2.3.3 Heritage Conservation Districts in Cambridge

The City of Cambridge has a strong commitment to heritage conservation, with several designated HCDs that protect and enhance the city's historic character. Among them, Blair Village, Dickson Hill, Main Street and Galt Core, each have unique architectural and cultural significance, preserved through dedicated HCD Plans. As the City updates its Official Plan, amendments to the HCD framework will ensure continued protection and thoughtful development within these historic areas.

2.3.3.1 Blair Village

In 2002, the City of Cambridge designated Blair Village as a HCD. The Blair Village HCD Plan ensures that the community of Blair remains a village in character, form, and function.

2.3.3.2 Dickson Hill

In 2005, the City of Cambridge approved the Dickson Hill HCD Plan. The Plan provides a heritage conservation strategy for the City-owned public spaces in Dickson Hill - one of the most unique communities in Cambridge. Dickson Hill features many different types of historical buildings as well as key elements that define the character of Dickson Hill. As a note, non-municipally-owned private properties have no protections under the provisions of this Heritage Conservation District Plan.

2.3.3.3 Main Street

The City of Cambridge introduced the HCD Plan in 1984. The District is in the heart of the former city of Galt and its boundaries are Main Street, Ainslie Street, Imperial Lane, and Water Street. Features of the Main Street HCD include a block of commercial buildings that form one of the most outstanding historic streetscapes in Ontario. This area has a variety of architectural styles and building ages, from the Granite Block of 1862 to the High Victorian Osborne Building of 1895. Subtle variations of detail and style make this area worthy of long-term conservation and enhancement.

2.3.3.4 Galt Core

The Galt Core HCD was approved by Council in 2021. It provides a framework for conserving and enhancing the historic character of downtown Galt, the oldest core of Cambridge. It emphasizes the importance of maintaining the district's relationship with the Grand River, its historic street grid, and the cohesive character created by stone masonry buildings, all of which contribute to Galt's distinct sense of place.

2.3.4 City of Cambridge Property Standards By-law

The Property Standards By-law, enacted by the Corporation of the City of Cambridge, serves as a comprehensive framework for the maintenance, safety, and occupancy standards of properties within Cambridge. It aligns with the City's Official Plan and adheres to the *Building Code Act*, S.O. 1992, c.23, to ensure properties meet specific standards for human habitation and use.

This By-law is an important regulatory document for the City of Cambridge, aiming to enhance the quality of life, safety, and aesthetic appeal of the community by ensuring properties are well-maintained, safe, and suitable for occupancy.

2.4 Applicable Studies, Plans, and Guidelines

2.4.1 City of Cambridge: Core Areas Community Improvement Plan (2022)

The Core Areas Community Improvement Plan (CIP) presents a comprehensive strategy for revitalizing the core areas of Cambridge. The document outlines the rationale, legal framework, and historical context for the current CIP, building upon past initiatives and lessons learned, to foster community improvement and sustainable development.

2.4.1.1 Legislative Framework

This section details the legal foundations for the CIP, anchored in the *Municipal Act* and the *Planning Act*, which enable the city to undertake such planning and development efforts.

2.4.1.2 Previous Plans, Programs, and Initiatives

A review of past strategies highlights what has been effective and what hasn't, setting a context for the new plan. It notes the evolution of CIPs since the 1980s and various financial incentives aimed at stimulating private investment, such as the Design Guide Program and Building Revitalization Program.

2.4.1.3 Supporting Policies

The CIP aligns with provincial, regional, and local policies, to ensure a cohesive approach to community improvement, touching on land development regulations, growth management, and the city's strategic objectives towards "People, Place, and Prosperity."

2.4.1.4 Community Improvement Project Areas

Focusing on Cambridge's three core areas (Hespeler Village, Preston Towne Centre, and Galt City Centre), this section delineates the designated zones for the CIP, emphasizing mixed-use development, accessibility, and the promotion of cultural and tourist activities.

2.4.1.5 Goals and Objectives

The document sets forth ambitious goals, such as creating safe and vibrant areas, supporting local businesses, preserving cultural heritage, and promoting affordable housing. The objectives include enhancing residential and commercial spaces, facilitating redevelopment, improving infrastructure and aesthetics, and offering financial incentives for private investment.

2.4.1.6 Programs

Detailed provisions for grants and loans are outlined to support eligible projects that contribute to the CIP's goals, such as developing new residential or commercial units, renovating existing spaces, and preserving heritage properties.

2.4.1.7 Other Strategies

Additional supportive measures include relief from fees and charges, partnerships with the private sector, capital improvements for public spaces, promotion of arts and culture, and strategic property acquisition and disposition to bolster redevelopment efforts.

2.4.2 Cambridge Heritage Master Plan (2008)

The Cambridge Heritage Master Plan serves as both a visionary and policy framework, aimed at conserving and celebrating Cambridge's heritage resources. It articulates the community's shared values as manifested in buildings, landscapes, and cultural practices, set against the historical backdrop of the Grand River's pivotal role in shaping the area's settlement and industrial growth.

Key aspects of the plan include:

- **Diverse Heritage Resources:** The plan emphasizes the significance of built heritage, cultural heritage landscapes, and archaeological sites, proposing strategies for their preservation and integration into the city's future;
- **Strategic Initiatives:** Recommendations focus on building community support, providing heritage "products," establishing an implementation framework, and fostering cooperation among stakeholders;
- **Principles and Priorities:** The plan sets forth principles such as focusing on character areas and promoting heritage-friendly development. Priority actions include enhancing the heritage resource inventory and incorporating the plan's recommendations into official policies.

2.4.2.1 Hespeler & the Heritage Master Plan

Specifically, in Hespeler, the plan highlights:

- **Industrial Heritage:** Hespeler's growth was significantly influenced by its industrial roots, with key industrialists adopting a "paternalistic" approach towards the community, which is reflected in the preservation of many important buildings;
- **Community Fabric:** The strong sense of local pride among Hespeler residents is attributed to the shared history of industrial employment, notably at Dominion Woollens and Worsteds, which shaped the community's cohesion;

- **Socio-Cultural Evolution:** The integration of newcomers, particularly during and after WWII, contributed to the development of modern-day Cambridge, with the Newfoundland Club being a testament to this enduring influence;
- **Architectural and Urban Character:** Hespeler's heritage character is marked by a mix of land uses reflecting its industrial past and the community's evolution, with the downtown core showcasing a modest collection of mid-late 19th -century buildings.

The Cambridge Heritage Master Plan envisions a future where the city reclaims its natural and rural landscapes, embraces its historical narratives, and enhances the quality of life through vibrant downtown cores and integrated new developments. Hespeler, with its rich industrial heritage and strong community fabric, exemplifies the unique character and potential for heritage conservation within Cambridge.

2.4.3 Grand River Management Plan

The Grand River Management Plan, specifically the Grand River Water Management Plan, is a collaborative, long-term strategy for managing the Grand River watershed in Ontario. Originally developed in 1982 and regularly updated, the plan aims to protect the health and resilience of the watershed, which includes major tributaries like the Speed River. It involves coordination among municipalities, the Grand River Conservation Authority (GRCA), First Nations, and provincial and federal agencies.

Key goals of the plan include:

- **Sustainable Water Supplies** – Ensuring reliable water for communities, ecosystems, and economic activities;
- **Flood Damage Reduction** – Minimizing the impact of floods across the watershed;
- **Water Quality Improvement** – Enhancing river health and reducing its impact on Lake Erie;
- **Climate Change Resilience** – Building adaptive capacity to respond to a changing climate.

A central principle of the plan is the recognition of Indigenous rights and knowledge systems as essential to responsible watershed stewardship. The Six Nations of the Grand River, whose reserve lies along the Grand River within the Haldimand Tract—and the Mississaugas of the Credit First Nation, whose traditional territory includes the Cambridge area, play key roles in conservation and governance. Their enduring relationships with the land and water continue to shape an evolving, collaborative approach to watershed management that respects Indigenous leadership, rights, and cultural values.

2.4.4 The Grand Strategy for Managing the Grand River as a Canadian Heritage River (1994)

Developed in 1994, the Grand River Management Strategy outlines a visionary management philosophy that underscores the river's value and outlines goals and guidelines for sustainable heritage and recreational resource management, emphasizing shared responsibility and community engagement.

The strategy is built on the belief in the enduring value of the Grand River watershed's resources, highlighting the river's role as a barometer of civilization's impact on the natural environment. It identifies critical challenges, such as improving water quality and fostering greater appreciation and protection of heritage and recreational resources. The governance model stresses stakeholder participation, clear communication, and effective conflict resolution.

The strategy sets forth goals to enhance knowledge, stewardship, and enjoyment of the watershed's resources, underpinned by values such as integrity and accountability. Actions include strengthening partnerships, encouraging community involvement, and enhancing the watershed's well-being through shared responsibility.

2.4.4.1 Canadian Heritage Rivers System: Grand River Nomination

The Grand River's nomination as a Canadian Heritage River underscores its significant natural, human heritage, and recreational values, illustrating the river's integral role in the cultural and ecological landscape of Southern Ontario. Key points include:

- **Purpose and Criteria:** The nomination aims to recognize the Grand River's outstanding contributions to Canada's natural and cultural heritage, ensuring its preservation and enjoyment for future generations. A river must exhibit significant natural, cultural, or recreational values to qualify for this designation;
- **Human Heritage and Recreational Values:** The Grand River, spanning 290 kilometres, is noted for its rich mosaic of cultural heritage, including its significance to Indigenous peoples, its 19th-century industrial architecture, and its association with prominent Canadian figures. The river offers extensive recreational opportunities, from water sports to trails and heritage appreciation, facilitated by a comprehensive protective framework led by the Grand River Conservation Authority;
- **Role in the Canadian Heritage Rivers System (CHRS):** The river's inclusion in the CHRS highlights its exceptional qualities within developed areas, its representation of Great Lakes Lowlands ecology, its historical and current adaptive management of river flows, and its contributions to Canada's industrial and cultural development. Additionally, the nomination aims to enhance public awareness of the Indigenous peoples' historical and ongoing relationship with the river.

In the context of Hespeler Village and the current HCD Study, it is important to note that the Speed River is a tributary and is therefore an integral part of the overall Grand River System.

2.4.5 Hespeler Village Streetscape Plan and Urban Design Guidelines (2013)

The Streetscape Plan and Urban Design Guidelines are tailored for Hespeler Village within Cambridge, anticipating significant demographic changes by 2031. This comprehensive approach integrates the area's rich industrial heritage with contemporary needs, aiming to enhance both the pedestrian experience and economic vitality.

2.4.5.1 Study Area Inventory and Analysis

The analysis highlights Cambridge's projected population growth, emphasizing its impact on the Hespeler Study Area. The area boasts a diverse mix of industrial history alongside modern retail, residential, and leisure activities.

2.4.5.2 Character Areas

The plan delineates three key character areas within Hespeler Village:

- 1. Village Core Area:** This area stands as the compact heart of Hespeler, showcasing a blend of retail, commercial, and residential spaces along Queen Street East, and is distinguished by historic facades that lend a unique identity;
- 2. Milling Road Adaptive Reuse Area:** Milling Road reflects the industrial past, spotlighting opportunities for repurposing historic mill buildings along the Speed River;
- 3. Queen Street West:** This area presents a less dense development pattern with varied uses, yet it lacks the cohesive character of the village core.

2.4.5.3 Nodes and Gateways

Active hubs like Forbes Park and Old Towne Hall Parkette are central to community events and need to be seamlessly integrated into the streetscape. The plan underscores the importance of cohesive wayfinding and establishing defined gateways to highlight culturally significant areas.

2.4.5.4 Architectural Façade and Heritage Assets

The guidelines emphasize the preservation of Hespeler's character-defining elements, including heritage buildings, public spaces, and natural assets like the Speed River. Specific historical buildings are acknowledged, alongside the need for a façade improvement program to enhance the village's aesthetic appeal.

2.4.5.5 Lighting Considerations

The plan identifies issues related to the height of light standards and fixture types, which contribute to light pollution. Recommendations include retrofitting existing fixtures with energy-efficient options to reduce costs and environmental impact.

2.4.5.6 Policy Review

The Streetscape Plan aligns with various policy frameworks, advocating for sustainable land use, growth within designated areas, and the promotion of mixed-use development. This involves a detailed review of provincial, regional, and municipal policies, including the City of Cambridge Official Plan and Zoning By-law.

2.4.5.7 “Complete Streets” Philosophy

The concept of "Complete Streets" is promoted, emphasizing the need for streets to accommodate all users safely and effectively. This includes considerations for pedestrians, cyclists, motorists, and transit riders, ensuring equitable access for all.

2.4.5.8 “SWOT” Analysis

The analysis reveals:

- **Strengths:** The natural beauty of Forbes Park and the compact development conducive to a pedestrian-friendly environment;
- **Weaknesses:** Challenges related to the constrained right of way on Queen Street and the maintenance of public infrastructure;
- **Opportunities:** Enhancing the area's cultural and heritage appeal and improving connectivity;
- **Threats:** Traffic congestion and the lack of a unified streetscape character.

2.4.5.9 Streetscape Concept

The concept outlines strategies for enhancing connectivity, developing a cohesive streetscape, and preserving the area's heritage. Recommendations extend to material selection, pedestrian safety enhancements, and the incorporation of cultural and recreational opportunities.

2.4.5.10 Traffic and Pedestrian Circulation

The plan proposes maintaining efficient traffic flow along Queen Street while significantly improving pedestrian access and safety. This includes better connections from surrounding neighbourhoods to the urban core.

2.4.5.11 **Redevelopment Opportunities**

Opportunities for redevelopment are discussed in the context of mixed-use development, heritage preservation, and public space enhancement. This encompasses areas within the Urban Core, along Queen Street, and the Milling Road/River Front.

2.4.5.12 **Design Guidelines**

Detailed guidelines are provided for managing heritage properties and façade improvements, with specific attention to the Milling Road area. The aim is to maintain the industrial character while allowing for modern architectural elements that complement the historic context.

2.4.5.13 **Implementation Phasing**

The plan's implementation is phased, beginning with Queen Street and expanding to include Adam Street, Guelph Avenue, and other key areas. It also outlines options for developing public squares and revitalizing Milling Road to enhance public engagement and activity.

2.4.6 Milling Road Streetscape Plan and Urban Design Guidelines (2021)

This document outlines a comprehensive approach for the redevelopment of Milling Road in Hespeler Village. Initiated in January 2020, the plan builds upon the 2013 Hespeler Streetscape Plan & Urban Design Guidelines, focusing on creating a unique and pedestrian-friendly destination, while enhancing the historical character of the area.

The location of Milling Road along the Speed River and its proximity to various residential, commercial, and industrial properties offers a unique opportunity to create a distinctive sense of place, drawing inspiration from successful models, such as Toronto's Distillery District.

The document provides an inventory and analysis of the current conditions, including the architectural and landscape character, land use, and existing amenities. Key features, such as Jacob's Landing Park, Mill Run Trail, and the industrial heritage of the area, are highlighted. The analysis also addresses challenges related to pedestrian and vehicular circulation, parking, and the condition of the city-owned building at 30 Milling Road.

The guidelines emphasize streetscape improvements on city-owned land and potential partnership opportunities for development on adjacent parcels. Specific design guidelines are divided into built form, streetscape design, park design, phasing, and costing. Key recommendations include:

- Future developments should complement the traditional industrial façade of the area, with renovations encouraging public use and flexibility. Preservation and adaptive reuse of existing structures are emphasized, particularly the City-owned building at 30 Milling Road;
- The plan suggests modifications to traffic circulation to prioritize pedestrian movement and enhance the streetscape with planting, seating, lighting, and other amenities;
- Enhancements to Jacob's Landing and connections to the Mill Run Trail are proposed to increase utilization and accessibility of green spaces;
- The document outlines a phased approach for implementation, considering practical and financial feasibility.

3 PLAN AND GUIDELINES FOR CONTRIBUTING PROPERTIES

3.1 District Boundary

The Hespeler Heritage Conservation District (HCD) boundary encompasses 330 individual property parcels including the Chilligo Conservation Area. This boundary has been informed by the findings of the Hespeler HCD Study that was completed in June 2024. A critical task during the HCD Study Phase, the boundary was established through a comprehensive methodology and significant community engagement. Boundaries are drawn to include, not only buildings and structures of interest, but also the entire property on which they are located. Vacant land, infill sites, public open space, and contemporary buildings are also included within the District to ensure that their future development is in keeping with the character of the area.

Hespeler has a long history which pre-dates colonial settler-contact with Indigenous peoples, who had a long-term relationship with this region and within the Speed River basin. The growth of the settlement along the river allowed for a significant industrial boost, the development of a thriving commercial centre, and diverse residential neighbourhoods. The District is a mixed-use area and contains a significant number of properties which reveal broad architectural, cultural, social, and economic patterns of the area's history. There is a wealth of high-value heritage residential, industrial, commercial, and institutional buildings, waterscapes, as well as natural and human-made landscapes, which are an integral part of the identity of Hespeler.

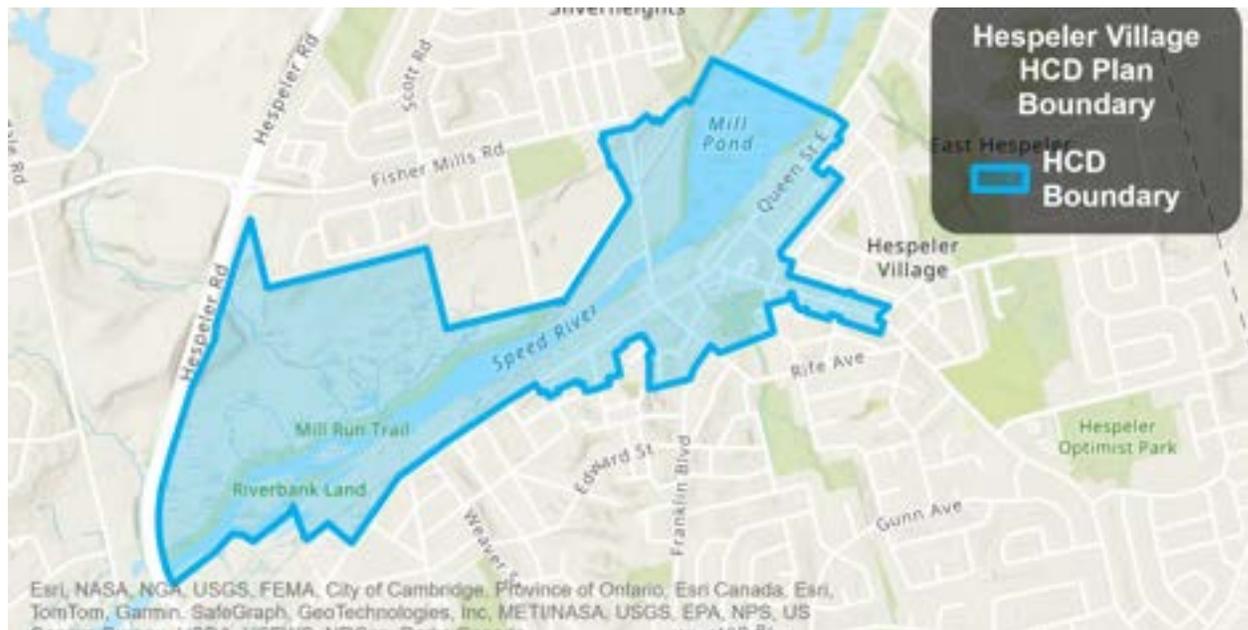


FIGURE 17 District Boundary Map.

The Hespeler HCD boundary is centred on the river and surrounding historic natural, commercial, industrial, institutional, and residential cores of Hespeler. While this is a substantial area, the intent of this boundary is protecting key views, streetscapes, and first impressions, when entering Hespeler. Protection of the existing sense of place that is predominant, and rooted in the relationship to the river, are the key determinants.

3.1.1 Contributing and Non-Contributing Properties

Every property located within the HCD, either privately or publicly owned, is designated under Part V of the *Ontario Heritage Act*. As a result, all properties must comply with the policies of this HCD Plan. In an HCD, properties are typically classified as either contributing or Non-contributing based on their heritage value and role in defining the District's character. This classification provides the basis for the policies and guidelines within the Plan, which recognize that a higher standard of conservation must be applied to contributing properties. contributing properties directly reflect and relate to the District's cultural heritage value. This classification helps guide decision-making on alterations, new development, heritage permitting, and conservation efforts within the HCD.

Contributing Properties are those that embody the historical, architectural, contextual, or cultural significance of the District. These properties, buildings, structures, or landscapes retain key heritage attributes that reflect the period, style, or function that defines the District's overall character. contributing properties were determined to meet 2/9 criteria under O.Reg.9/06. They are often subject to stricter conservation policies to ensure their preservation and compatibility with the District's heritage objectives.

Other Properties or Non-Contributing are properties that do not do not display or reflect the significant character-defining attributes identified by the HCD Plan but are included within the boundary of the HCD solely on basis of geographical location. Non- contributing properties were determined to meet less than 2/9 criteria under O.Reg.9/06.

While they may not hold individual heritage value, guidelines within an HCD Plan also regulate their alteration or redevelopment to ensure they remain compatible with the overall District context.

It is important to note however, that an HCD derives its value not from the significance of individual properties alone, but from the collective character, cohesion, and historic fabric created by the ensemble as a whole. It is the cumulative effect of architectural styles, streetscapes, spatial relationships, landscaping, and historical associations that give the District its unique identity and sense of place. This includes contributing and Non-contributing properties. Even properties that may not appear individually significant contribute to the overall continuity and atmosphere of the area, supporting the broader cultural heritage value. As such, the preservation and management of the District must consider the integrity of the entire context, rather than focusing solely on standout buildings or landmarks.

The map below illustrates the contributing and Non-contributing properties within the Hespeler HCD. An index of properties is also included in the **Appendix**.

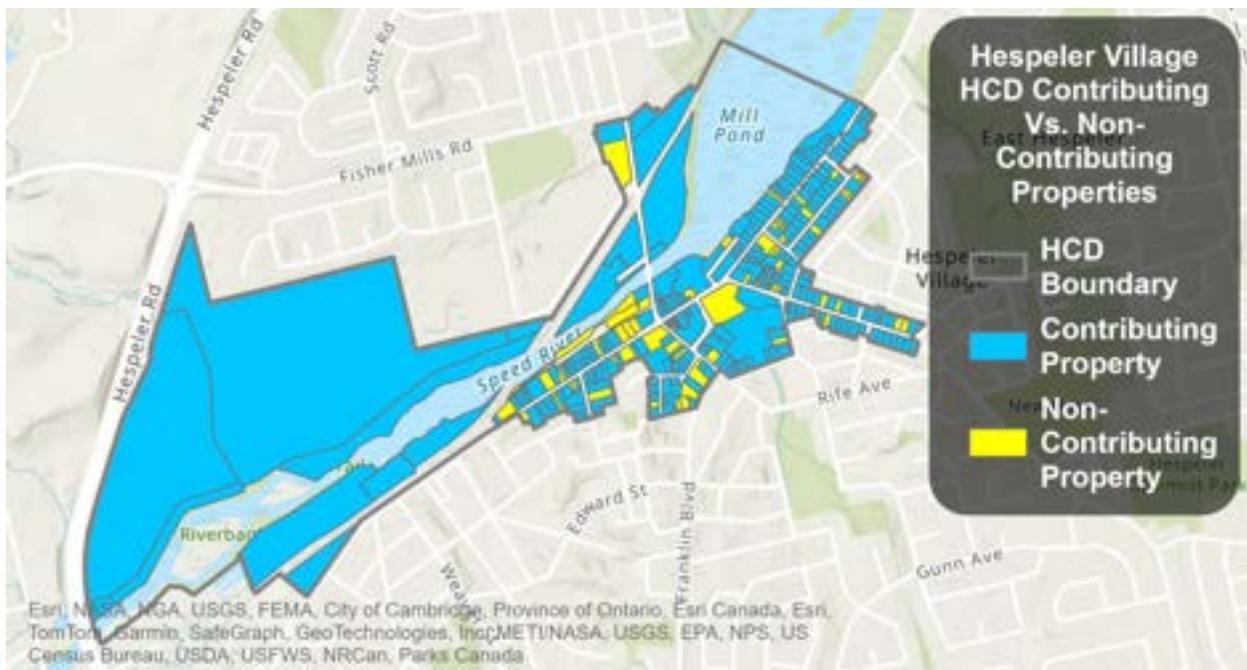


FIGURE 18 contributing vs. Non-contributing properties within the HCD boundary.

3.1.2 Classification

The classification of properties as either contributing or Non-contributing relied on evaluating each property against the framework of the Statement of Cultural Heritage Value (SCHV). This includes the identified design, contextual, historical, social, and community values of the District as expressed through the heritage attributes. The SCHV is presented in full in **Section 1.4**. Properties that have been identified as contributing:

- Represent the District’s origins as a mill village, with early industrial development, residential enclaves, buildings from a range of periods, a commercial main street, as well as institutional and recreational spaces. This organic development pattern is clearly defined and supports an inspiring and unique mixed village character and charm with a hilly topography and/or;
- Are identified as representing the importance of the geography of the Speed River, which allowed for the siting of many industrial buildings to take advantage of the natural flow of the river, harness waterpower, establish prosperous factories along the river, support settlement and growth. These areas have evolved to naturalized areas and are an important cultural landscape corridor.

The Hespeler HCD includes a variety of architectural styles, building uses, and landscape characteristics. This includes structures that have been substantially altered, such as changes to building features, modifications to fenestration, or the introduction of mixed and modern materials. While the approach in other HCDs would have classified these structures as Non-contributing or other, this approach was generally not appropriate for Hespeler. Throughout its growth, Hespeler has maintained its small-town atmosphere, in part the result of a tightly composed urban form consisting of a commercial/industrial core surrounded by hilly landscape and elevated residential areas. The open spaces of the river and the unique urban configuration, captured by the hilly topography of the town, afford significant views and vistas of key heritage attributes. Incremental modifications to the built form, shaped by this evolving landscape, are themselves defining heritage featured, contributing to the District’s cultural heritage value.

Therefore, contributing properties were identified according to their reflection of the cultural heritage value of the District by providing evidence of the area’s measured evolution, the ability to convey visual, functional, and historical coherence and authenticity, through any alterations that may have occurred, rather than solely through the retention of original materials and massing.

Furthermore, in accordance with the requirements of Section 41(1)(b) of the *Ontario Heritage Act*, contributing properties within the District were evaluated according to Ontario Regulation 9/06 section 3(1). All contributing properties in the District satisfy two or more of the criteria for determining cultural heritage value or interest.

A schedule of all contributing and other properties within the District is located in **Appendix 3 – Schedule of Properties**.

3.1.3 Differentiating Policies and Guidelines

This section contains **policies (in bold)**, and guidelines (in regular type) intended to manage change within the District in order to meet the objectives of this Plan and to conserve the District's cultural heritage value.

The **policies** set the direction for the management of the District in a clear and direct manner. The directions provided by the **policies** generally use either 'shall' or 'should' language and are to be interpreted accordingly. The guidelines provide suggested ways in which the Plan's **policies** might be achieved. However, there may be other methods for satisfying related **policies**. Guidelines are useful directions on how to meet the **policies** of the Plan.

3.1.4 Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada

The Standards and Guidelines for the Conservation of Historic Places in Canada (The Standards and Guidelines) is a national framework developed by Parks Canada to guide the conservation of heritage properties across the country. It establishes best practices for preserving historic sites while allowing for change and adaptation. The document outlines three primary approaches to conservation:

1. **Preservation:** Maintaining a historic place with minimal intervention to retain its heritage value;
2. **Rehabilitation:** Making necessary repairs or alterations while protecting character-defining elements;
3. **Restoration:** Returning a site to an earlier state by removing later additions or reconstructing missing elements.

The Standards and Guidelines emphasize the importance of understanding a site's heritage value, conserving character-defining elements, and ensuring any new work is physically and visually compatible, while remaining distinguishable from the original fabric.

In the context of an HCD, the Standards and Guidelines inform **policies** and guidelines by:

- **Defining Conservation Approaches:** Ensuring that interventions respect the *District's* overall heritage character and support its long-term sustainability;
- **Guiding Alterations and New Development:** Providing criteria for appropriate changes to individual properties while maintaining the District's integrity;

- **Ensuring Material and Design Compatibility:** Encouraging the use of compatible materials, forms, and construction techniques in new work;
- **Protecting Views and Spatial Organization:** Recognizing the importance of key sightlines, streetscapes, and public spaces within the District;
- **Balancing Change and Continuity:** Supporting sensitive adaptation that allows for growth while retaining the area’s cultural significance.

The integration of these principals in the **policies** and guidelines of an HCD Plan creates a strong policy framework that ensures conservation efforts align with national best practices while addressing the specific heritage attributes of the District.

3.1.5 Existing Part IV Designations

All properties located within an HCD are designated under Part V of the OHA. Some properties located within the District are also individually designated under Part IV of the OHA. Part IV designation protects the cultural heritage value of an individual property and its identified heritage attributes. These properties are individually designated by municipal by-law, each containing a Statement of Cultural Heritage Value, which defines its cultural heritage value and attributes. Interventions on properties designated under Part IV must also conserve the individual property’s cultural heritage value and heritage attributes. Part IV properties in Cambridge are included on the City’s Heritage Register and by-laws are available on the Ontario National Trust’s database.

POLICIES

1. **In situations where the cultural heritage value and heritage attributes of a designation by-law enacted pursuant to subsection 29(1) of the *Ontario Heritage Act* differ from this Plan, conservation of the cultural heritage values and heritage attributes specified in HCD plan will prevail, unless doing so would expressly conflict with the individual by-law, and/or interior features are protected;**
2. **In situations where the requirements of any heritage easement agreement conflict with the requirements of this Plan, conservation of the cultural heritage values and heritage attributes specified for the property subject to the heritage easement agreement will take precedence over the conservation of District-wide cultural heritage values and heritage attributes.**

GUIDELINE

- a) In accordance with the City's Official Plan, a property that is included in an area designated as HCD may subsequently be designated under Part IV of the Ontario Heritage.

3.2 Whole District Policies and Guidelines

The Hespeler HCD is comprised primarily of residential buildings built in the mid-to-late 19th and early 20th centuries, many of which have been modified over time. The intent of these policies and guidelines is to allow for alterations, repairs, and upgrading to residential buildings in a manner that respects the form and integrity of the heritage attributes and building fabric.

Property and building conservation involve maintenance, repair, restoration, alteration, and new work in the form of additions. Maintenance and repair are activities that are done throughout the life of the property. An owner may also wish to restore architectural elements that have been lost, alter architectural elements to meet new demands, and add new rooms or features. While regular maintenance and necessary repair are always encouraged, returning a contributing property, or one of its features, to its original appearance or to another documented point, is the choice of the homeowner.

The following policies and guidelines are applicable to all properties in the Hespeler HCD, regardless of character area or if a property is contributing or non-contributing.

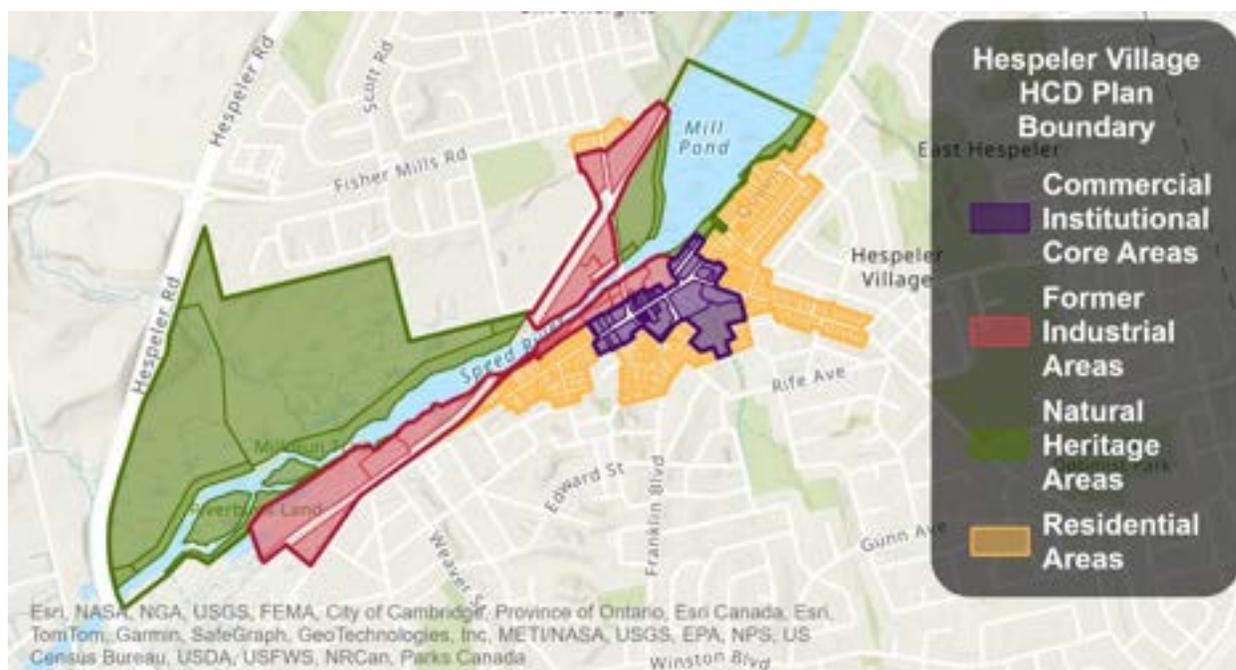


FIGURE 19 District Map showing all Character Areas.

3.2.1 The Speed River

The Speed River is one of the key attributes of the Hespeler HCD. The riverbed includes natural ledges, park space, substantial waterfront vegetation, and boat launches for watersports. The western section of river has a layering of industrial installations, including some stone and concrete retaining walls, former industrial buildings, a railroad bridge, in addition to naturalized vegetation.

POLICIES

1. **Views, vistas, and landscape of the Speed River are important contributors to the character of the District, and shall be retained;**
2. **The introduction of new development in the Hespeler HCD shall demonstrate that interventions are compatible with these areas and identified views of the Speed River (see section 3.2.6);**
3. **Any new development within and surrounding the Speed River corridor shall be visually and physically compatible with the cultural heritage values of the District;**
4. **Alterations to properties and open spaces along the Speed River shall respect the historical significance and social and community value of these spaces as described in this Plan;**
5. **Where rear façades of buildings are adjacent to the Speed River, these building elevations and property frontages shall be considered as public-facing façades or frontages.**

GUIDELINES

- a) Proposed design treatments should enhance the overall setting and history of the site and conserve their heritage attributes. This includes, but is not limited to, circulation patterns and systems, visual relationships, vegetation, and built features such as buildings, building remnants, structures, and walkways;
- b) Design treatments should acknowledge the cultural significance of the Speed River, including its historic role in the development of Hespeler and its deeper importance to Indigenous Nations as part of the Grand River watershed. Interpretive elements, materials, or landscape features may be incorporated to reflect these layered histories;
- c) New or altered rear façades facing the river should be designed with the same level of architectural quality, articulation, and durability as principal and public street-facing façades, ensuring they contribute positively to the riverfront as a public realm and cultural landscape.

3.2.2 Alterations and Additions

The Hespeler HCD will align with the Cambridge Official Plan's (OP) vision for responsible intensification in Cambridge. In doing so, however, it is imperative that new growth within District is sensitive to the existing heritage fabric. While intensification is supported, cultural heritage resources must be safeguarded.

POLICIES

1. **Designs for additions, alterations, and new development shall be based on an understanding of how the property expressed the cultural heritage values of the District;**
2. **Additions, alterations, and new development on a property shall only be permitted where it is determined that they do not result in negative impacts on the cultural heritage values of the District and its heritage attributes;**
3. **The location, massing, height, proportions, architectural detailing, and materiality of additions shall be visually and physically compatible with, but subordinate to and distinguishable from, the existing property and shall not negatively impact the cultural heritage values or heritage attributes of the District.**

GUIDELINES

- a) For properties with known heritage attributes conserve identified attributes as the primary reference point in any design decision;
- b) For all properties, evaluate the property's contribution to the streetscape, and consider design alterations that reinforce these common characteristics and ensure consistency with the collective rhythm of the street;
- c) Existing conditions should be documented through photographs and measured drawings prior to any interventions.

3.2.3 Height and Density

POLICIES

1. Heights shall comply with the density, heights, zoning updates, and Building Height Guidelines provided in the City of Cambridge's Official Plan, unless otherwise specified in this Plan;
2. New development or additions within the HCD must respect the prevailing building heights and rooflines of contributing heritage properties within the immediate context, ensuring visual continuity and preserving the established streetscape rhythm;
3. Modest variations in height may be considered where they:
 - I. Occur in transition areas between differing building scales;
 - II. Contribute positively to the character of the streetscape or riverfront;
 - III. Do not overwhelm or diminish adjacent heritage resources.
4. Buildings and additions adjacent to the Speed River shall integrate with the riverfront context by maintaining views, ensuring appropriate scale, and preserving the river's cultural and natural character as part of the public realm;
5. Step-backs shall be employed for upper storeys where increased height is permitted, in order to reduce the perceived mass from the street and protect key sightlines to heritage buildings, landscapes, and landmarks.

3.2.4 Demolition, Removal, and Relocation

In accordance with the OP, the City will regulate as fully as possible the demolition, removal, or inappropriate alteration or erection of buildings, which, in the opinion of Council, constitute or impact on a cultural heritage resource within a Heritage Conservation District. Furthermore, the Property Standards By-Law protects heritage properties in HCDs from demolition by neglect.

POLICIES

1. **Demolition, relocation, or partial demolition of contributing properties will not normally be supported;**
2. **Where catastrophic damages have occurred through unforeseen and unavoidable circumstances and are not the result of neglect, deferred maintenance, or deliberate removal or damage, select demolition or removal of remaining portions of a building may be permitted at the discretion of staff at the City of Cambridge. Applications for the demolition of primary structures will not be permitted, unless:**
 - I. **The building or structure has been determined by the Chief Building Official or designate of the City, prior to demotion, to be in a condition that is unsafe and the remedial step(s) necessary to render the building or structure safe in an Order issued under the *Building Code Act* from the Chief Building Official or designate of the City require the building to be demolished; or**
 - II. **The heritage integrity and cultural heritage value of the contributing property for which the demolition application has been submitted has been lost, as informed by a Cultural Heritage Impact Assessment (CHIA); and**
 - III. **The property is Non-contributing to the heritage character of the District. (please see Policies and Guidelines for Non-contributing properties [Section 4.0](#)); and**
 - IV. **The loss of heritage integrity and cultural heritage value of the contributing property is not the result of demolition by neglect, deferred maintenance, or purposeful damage to the property.**
3. **Any application to demolish an existing building must be accompanied by plans for its replacement. New construction must be compatible with, and sympathetic to, the character of the HCD and meet the policies and guidelines of this Plan;**
4. **If permission to demolish a building or structure on a property is granted, demolition activity shall not begin until plans for the replacement building(s) or structure(s) have been approved, and a heritage permit issued by the City.**

GUIDELINE

- a) Substantial progress should be made in the construction of the replacement building(s) within two years of the demolition of the previous building.

3.2.5 New Construction and Infill Development

There may be locations within the District where infill development may occur over time. New construction is permitted, provided it is compatible with the heritage character and conforms to the policies in this section.

POLICIES

- 1. New construction will be required to be compatible with the heritage character and attributes of adjacent heritage properties and the cultural heritage value of the District. This means adhering to the character of the surrounding neighbourhood of the District with regards to lot patterns, heights, massing, setback, building scale, roof pitches; and exterior materials;**
- 2. New buildings should reflect contemporary design while respecting the heritage context. They should not replicate historic architectural styles or incorporate authentic historic details inappropriately. While modern interpretations of historic forms and elements are encouraged, exact reproductions of historic buildings that create a false sense of history and disrupt the organic evolution of the built environment are not permitted.**

GUIDELINE

- a) A Cultural Heritage Impact Assessment (CHIA) may be required for any new building, on public or private land, whether on contributing or Non-contributing properties.**

3.2.6 Adjacency to the District

The Provincial Planning Statement (PPS) and the Cambridge Official Plan (OP) provide direction for managing the impacts of development on lands adjacent to protected heritage properties, including HCDs. While the HCD Plan does not extend to adjacent properties, major development proposals, such as new buildings or significant additions, on adjacent lands consider the potential impact on the cultural heritage value and attributes of the District.

POLICY

- 1. In accordance with the Official Plan, major development or site alteration on properties adjacent to the District should conserve the District’s cultural heritage value, attributes, and overall integrity.**

GUIDELINE

- a) City staff will determine the need and scope of a CHIA based on the scale and nature of the proposed work, its proximity to the District, and the type of potential impact. Examples include visual impacts on key sight lines or views, shadowing, physical or visual isolation of heritage attributes, or construction-related effects.

3.2.7 Views

The District includes commercial, residential, industrial, and institutional buildings, located on the north and south sides of the Speed River. The street grid is also skewed by Hespeler’s hilly topography, resulting in many interesting views and vistas throughout the elevated residential areas. In the public realm, existing street and block layouts result in views along primary streets and through laneways that offer glimpses of landmarks, such as civic buildings, the steeples of religious buildings, the Speed River, and tree canopies. Keeping these views from being obscured by new construction will be important to conserve the cultural heritage values of the District. Key views are identified below.



FIGURE 20 Select key views from within the *District’s* boundary.

POLICIES

1. **Development in the District shall respect and be compatible with identified views from the public realm, including but not limited to, prominent buildings, structures, landscapes, and natural features, as identified and described in the Statement of Cultural Heritage Value;**
2. **Prominent sites with high visibility and those sites that terminate a view will be required to meet a higher standard of architectural quality and urban design;**
3. **Development along the Speed River shall not obscure views that currently exist of the river from public space. Where obstruction is unavoidable, partial views must be maintained.**

GUIDELINES

- a) Design new development and undertake alterations and/or additions to existing buildings to enhance identified views. This may include design of new buildings, alterations, and/or additions to match established proportions and avoid introduction of features that will negatively alter or obscure historical visual relationships;
- b) Preserving and enhancing views of church spires, landmark buildings and structures, and natural features from strategically located viewpoints will be required where feasible;
- c) The visual dominance of spires and other significant character-defining projections should be maintained.

3.2.8 Gateways and Gathering Places

Sites that function as “gateways” into the District and gathering points within the District provide ideal opportunities to introduce consistently branded wayfinding and interpretation strategies across the District and to curate focused messages and content that articulate the District’s significance, lost features, and important relationships. Key gateways into Hespeler have been identified in the map below and are all included within the District boundary. In an HCD, gateways serve as key entry points that define the character and identity of the District.

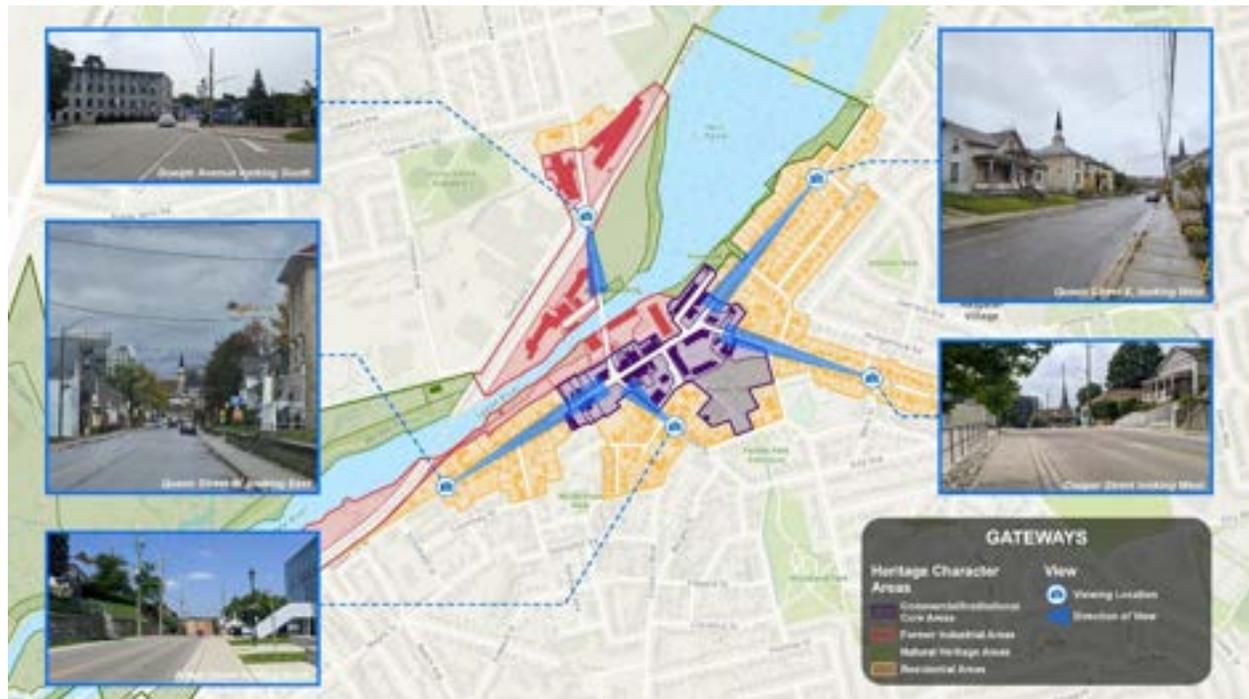


FIGURE 21 Identified gateways to the District. Gateways articulate the District's significance through built and natural heritage fabric.

POLICIES

1. **New construction, buildings and gateway elements shall reflect the historical and architectural significance of the District through appropriate design, materials, and scale;**
2. **Gateway features shall align with the character-defining elements of the District and contribute to a sense of arrival;**
3. **Any new construction or alterations at gateway locations should be sympathetic to the District’s heritage attributes.**

GUIDELINES

- a) Signage, public art, and landscaping should reinforce the heritage character without overwhelming historic elements;
- b) Materials, massing, and setbacks should complement adjacent heritage structures;
- c) Streetscaping elements such as lighting, paving, and street furniture should enhance the gateway’s historical context;
- d) The introduction of greenery, such as heritage-appropriate plantings, should be encouraged to soften transitions into the District;
- e) Gateways may include interpretive signage to provide historical context and educate visitors about the District’s significance;
- f) Any new signage should be designed in a manner that respects the scale and character of the area.

3.2.9 Traffic Management

Four main roads cross through the HCD. Many residents have expressed concerns about the high volume of traffic on these streets, especially as urban intensification expands. It is not within the scope of an HCD to regulate traffic; therefore, these guidelines are limited to recommendations concerning the physical characteristics (i.e. road width, traffic calming devices, etc.) of the streets and their contribution to the overall values of the District.

- a) Where road widening is considered, indicating alternatives and mitigation measures is required through an Environmental Assessment of a CHIA, particularly where there is limited loss of greenspace and no mature trees or built heritage resources are impacted.

3.2.10 Signage and Wayfinding

Street signage and wayfinding can be key elements of a streetscape, allowing pedestrians, cyclists, and vehicles alike to make their way safely through the streetscape. Signage within the HCD should be coordinated and harmonious to reduce visual clutter and contribute to the unique sense of place.

POLICY

1. **All new or replaced municipal signage (street name signs, wayfinding, walking/cycling trail signs, etc.) shall be coordinated and visually compatible with the character and streetscapes of the District.**

GUIDELINES

- a) Using a unique type of signage within the District to enhance its identity is encouraged;
- b) Installation of gateway signage to indicate entrance to the HCD is strongly recommended;
- c) All signage must be coordinated with the Municipality's signage by-law.

3.2.11 Street Trees, Furniture, Lighting, and Paving

POLICIES

1. **Public realm improvements relating to introduction of new street trees, furniture, lighting, and paving shall reinforce and enhance the cultural heritage values and heritage attributes of the District;**
2. **Falsely historic features, furnishings, landscaping treatments, and fixtures shall not be utilized within the public realm. This includes lighting, benches, tree grates, tree guards, trash and recycling receptacles, parking equipment, and similar.**

GUIDELINE

- a) The planning of public realm improvements should include consultation with the Accessible Advisory Committee early in the process to ensure the cultural heritage and accessibility requirements are considered simultaneously.

3.2.12 Parking Lots and Aboveground

Parking Structures

The viability of the District and the ability to conserve its heritage value depend on the economic competitiveness of its commercial sector. As a core area, Hespeler will also see an increase in people living in the downtown area. Due to the floodplain of the Speed River, below-grade parking may not be practicable and therefore, other solutions will be required.

POLICIES

1. **Above-ground parking structures must be well-integrated into developments and lined with street-level commercial and residential uses to diminish their appearance and minimize negative impacts on the public realm and the cultural heritage values and heritage attributes of the District;**
2. **While new surface parking lots are discouraged, any new surface parking areas shall be scaled, designed; and screened from view to minimize visibility from the street and from the waterfront;**
3. **Vehicle parking areas, including above and below ground parkades or surface parking lots, shall be accessed via side streets and laneways, where possible, to avoid interruption of primary façades and the public realm;**
4. **Streetscape and signage elements should be physically and visibly compatible with the cultural heritage values of the District and its heritage attributes.**

GUIDELINES

- a) Surface vehicle parking and loading areas, as well as utility equipment, including but not limited to, utility boxes, waste storage, air conditioner compressors, utility meters, and transformers, should be screened from view and located away from the public realm to minimize visibility from the street;
- b) Where a new development provides an at-grade or above-grade parking structure, the structure should be not be visible from the public realm. Blank façades screening above-ground parking structures, especially where facing the public realm, should be avoided.

3.2.13 Maintenance

The City of Cambridge's Property Standards By-Law applies to all properties within the city, including heritage buildings. This By-Law establishes standards for property maintenance and occupancy to ensure public safety and the preservation of the city's character. For heritage properties, the City adheres to principles outlined by the Ontario Ministry of Citizenship and Multiculturalism and the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada. These principles emphasize respect for a building's historical significance, materials, and original fabric, guiding decisions related to the conservation and maintenance of heritage properties.

POLICY

- 1. Properties in the District shall be maintained to ensure the conservation and integrity of the cultural heritage value and heritage attributes.**

GUIDELINES

- Maintain and monitor contributing properties on a regular basis using recognized conservation treatments;
- Stabilize deteriorated building features as required, until repair work is undertaken.

3.3 Residential Character Zone

The residential areas of Hespeler are primarily located south of Queen Street and include a diverse range of architectural styles, from modest workers' housing to grand homes built by industrial leaders. These neighbourhoods reflect the social structure of Hespeler's community. The Residential Character Zone is the densest Sub Area of the District, in addition to having the widest variety of styles and materials present in Hespeler.

The residential properties in the District, are, for the most part an eclectic range of single detached residences. This variety, and the modifications to the built form, are themselves a heritage attribute and contribute to the District's cultural heritage value.

Properties were identified as contributing according to the legibility of physical layers in the built environment, reflecting the cultural heritage value of the District by providing evidence of the area's measured evolution over time. Integrity within the context of Hespeler's Residential Character Zone is therefore evaluated as a reflection of the property's ability to convey visual, functional, and historical coherence and authenticity through the variety of styles, massing, materials, and alterations that have occurred.

This section contains policies and guidelines intended to manage change within the Residential Character Zone of the Hespeler HCD. Please note for residential properties within other District Sub-Areas, the policies and guidelines for Residential Properties shall apply. This character area, and all other character areas are also subject to the policies and guidelines pertaining to this Whole District (**Section 3.2**).

Heritage Attributes include:

- A wide variety of residential architectural styles, including Georgian, Victorian, and early 20th-century designs. This includes the collection of residential buildings built during the key periods of Hespeler's colonial development, between 1830 and 1930, reflecting its growth and prosperity. This includes examples of worker's cottages, Ontario Vernacular, Gothic-Revival, and Edwardian styles, as well as fine stone and buff brick construction;
- Unique residential properties featuring vernacular construction, mixed materials, projecting balconies, gothic style windows, varied setbacks, and large lots providing some with access to the river via rear yards;
- Residential neighbourhoods on Cooper and Walker Streets with mature tree canopies and a variety of architectural styles, deeper setbacks, larger lots, and large homes, gently sloping towards the commercial core downtown;
- Mature tree-lined streets and traditional lot patterns, contributing to the cohesive historic character of these residential areas.

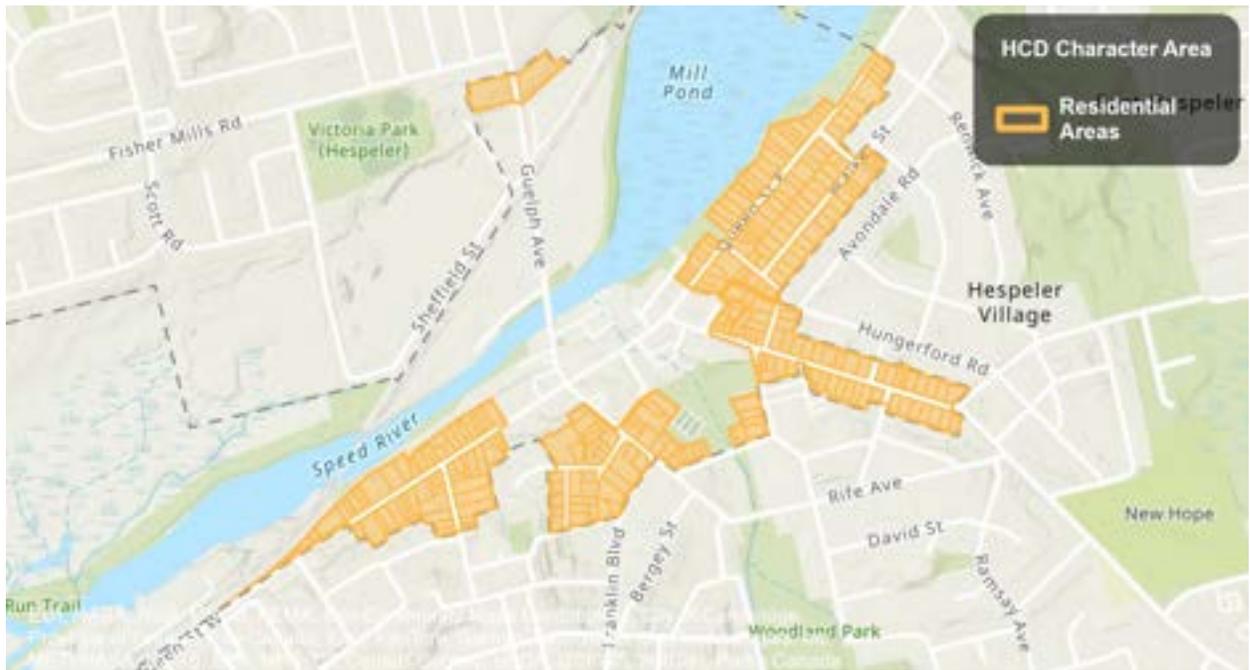


FIGURE 22 District Map showing the Residential Character Zone.

3.3.1 Repair and Alterations

Repairs and Alterations to properties may be pursued for a number of reasons. Re-siding façades, insulating wall surfaces, cutting new window openings, or enlarging entrances, providing a fresh look to a building or improving interior comfort levels.

POLICIES

1. **Repairs and Alterations to a contributing property shall be based on a firm understanding of how it contributes to the cultural heritage value and heritage attributes of the District;**
2. **Repairs and alterations to a contributing property shall be conducted according to the conservation process and using recognized conservation treatments.**

GUIDELINES

- a) Historical, architectural and landscape features and building materials should be maintained and enhanced;
- b) Any proposed change to a heritage property should be based upon a clear understanding of the issue with the building or site. Wherever possible, proposed alterations should be based on a sound knowledge of the building type, materials, and form;
- c) Where repairs alterations are necessary, every attempt should be made to make changes on the least visible façades, in discreet locations, away from the street presence of the building;
- d) Continue to use historic means of access such as drives, paths, and doorways;
- e) Encourage required new entrances to be installed on secondary elevations, generally those at the side or rear. Where external staircases are proposed they should be located at the rear;
- f) Maintain proper site drainage in any work so that water does not collect or drain towards foundations;
- g) All work should follow established conservation practices, such as those outlined in the Standards and Guidelines for the Conservation of Historic Places in Canada;
- h) It is recommended that work be carried out by individuals with appropriate conservation experience, especially larger repairs and alterations.

3.3.2 Roofs and Rooflines

The diversity of roof types found within the Hespeler HCD reflect the influence of a range of architectural styles and contribute to the cultural heritage value of the District.

POLICY

- 1. Alteration or removal of roof features shall only be permitted where determined to be appropriate, including roof features that are not prominently visible from the public realm or do not contribute to the cultural heritage value and heritage attributes of the District;**
- 2. Where a roof or roof features of a contributing property are damaged or deteriorated beyond repair, replacements shall reference the existing roof and/or roof features.**

GUIDELINES

- a) Vents, skylights, and other new roof elements should be sympathetic in type and material, and should be located out of general view from the public realm, where possible;
- b) The addition of solar panels or solar hot water heaters may be permitted on roofs but shall not permanently damage or remove heritage fabric. The installation of this type of equipment should be in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low-pitched roof) and not visible from the street wherever possible;
- c) Chimneys can be important heritage attributes and should be retained wherever possible. Non-functioning chimneys should be retained, capped, and re-pointed;
- d) Maintenance of original roof shape is encouraged;
- e) Replace only those portions that have deteriorated beyond repair, rather than replacing the entire roof or roof feature;
- f) Replacement roofs and roof features should be physically compatible with the contributing property and not result in damage or removal of other building features that reflect the District's heritage attributes;
- g) Roof drainage should be maintained and directed away from building foundations.

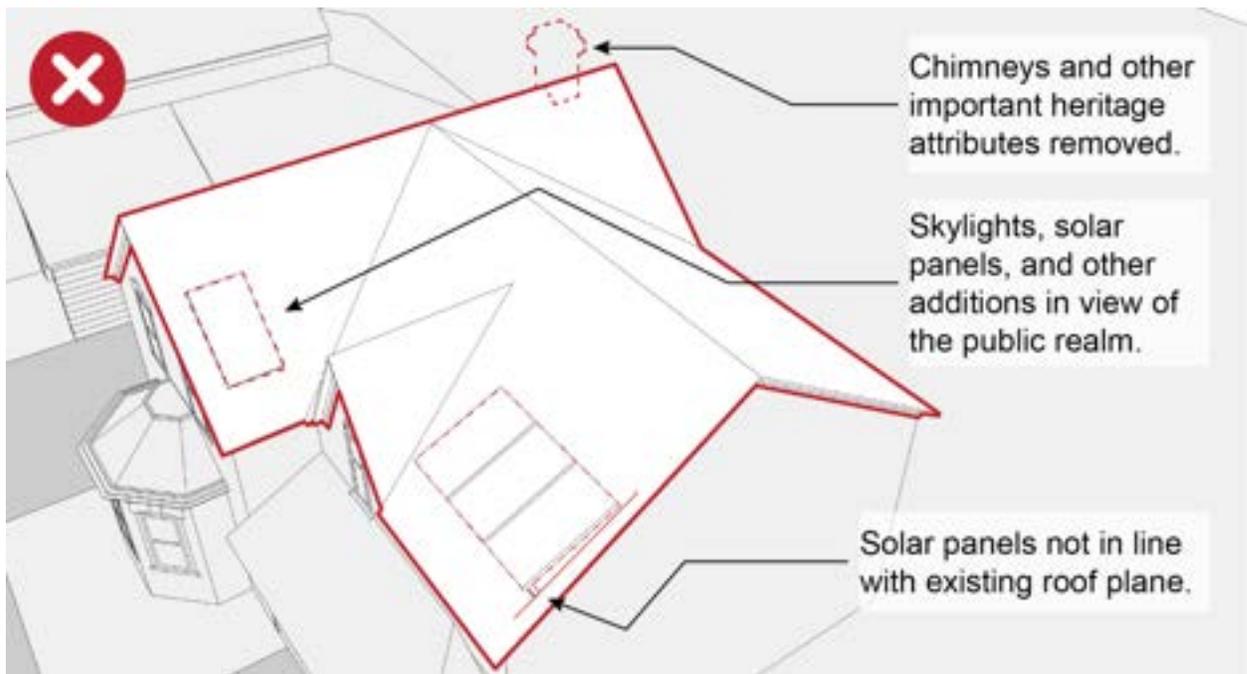


FIGURE 23 Graphic of incompatible roof alterations to contributing residential properties, including removed chimneys and visible additions from the public realm, such as skylights and solar panels. TRACE

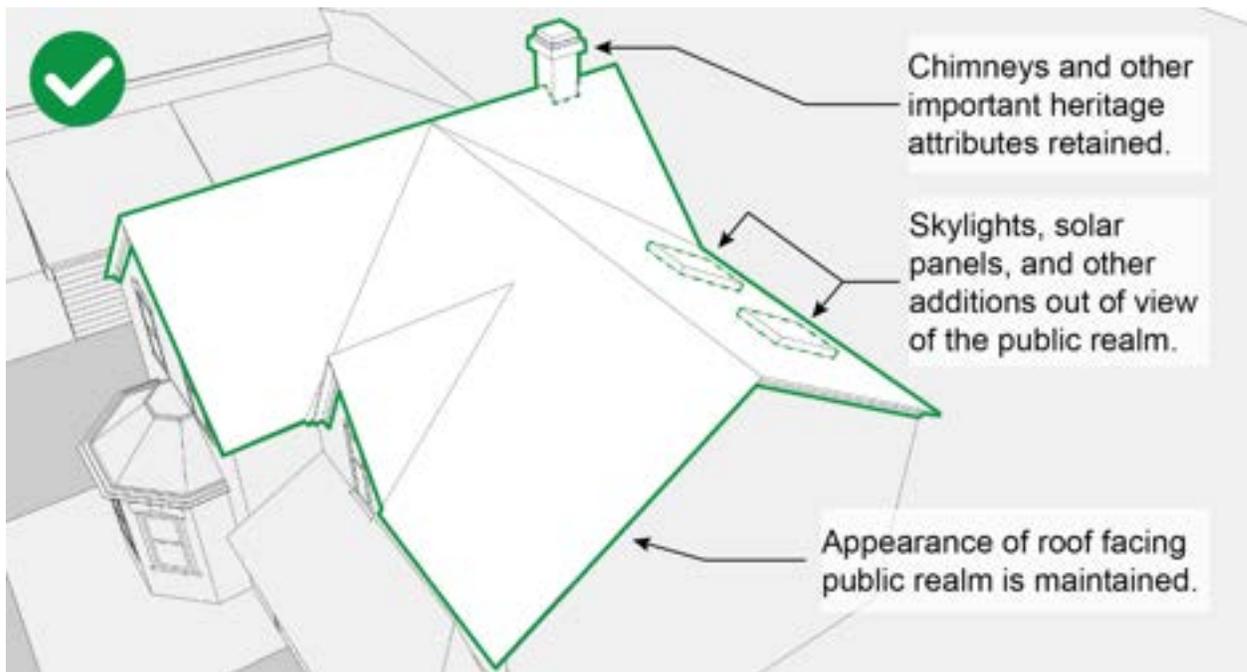


FIGURE 24 Graphic showing compatible roof modifications that meet the policies and guidelines for *contributing* residential properties. This includes retaining heritage attributes such as chimneys and ensuring any roof additions such as skylights and solar panels are out of view from the public realm. TRACE

3.3.3 Exterior Walls

Exterior walls include foundation walls, raised basements, and walls from the ground through attic levels, and may include the walls of projecting elements such as parapets, dormers, bays, and turrets. Exterior features include decorative details, sills, lintels, and other features within the plane of the wall.

POLICY

- 1. Alterations to exterior wall features of contributing properties shall conserve the legibility of the primary structure's architectural style and typology;**
- 2. Damaged or deteriorated exterior wall cladding or exterior wall features on contributing properties shall be repaired rather than replaced.**

- a) Original/historic wall materials should be retained and conserved. Authentic heritage fabric must be retained and maintained. Where original/historic wall materials cannot be repaired, replacement materials may be considered;
- b) New cladding should not be applied to exterior walls on contributing properties that have not been previously over-clad, particularly on materials such as brick and stone;
- c) Removing over-cladding from exterior brick or stone walls on contributing properties that have been previously re-clad is encouraged where the existing over-cladding may cause deterioration to the underlying brick over time;
- d) Protect original wall surfaces from cleaning methods that may permanently alter or damage the appearance of the surface or give a radically new look to the building. Sandblasting, strong chemical cleaning solutions, or high-pressure water blasting are discouraged;
- e) Any application to replace exterior wall cladding or an exterior wall feature due to deterioration may require the submission of a letter or documentation from a qualified person who can demonstrate experience related to the required work, to the satisfaction of Heritage Planning;
- f) Repairs to exterior cladding or wall features should use appropriate and compatible materials and methods to avoid causing damage to existing materials, such as the use of compatible mortar mixture and traditional pointing methods when repointing brick masonry; interventions should be evaluated to determine the appropriate mortar to match the historic composition;
- g) Brick masonry requires re-pointing from time to time and this process should be undertaken by tradespeople with experience in historic masonry techniques and materials;
- h) Generally, lime-based mortar should be used, and joints should replicate the original in finish, colour, and texture. Hard, cement-based mortars are more rigid during freeze-thaw cycles and can cause brick units to deteriorate;
- i) The application of waterproofing and water repellent coatings should be avoided;
- j) Avoid the application of new finishes or coatings that alter the appearance of the original material, especially where they are substitutes for repairs.

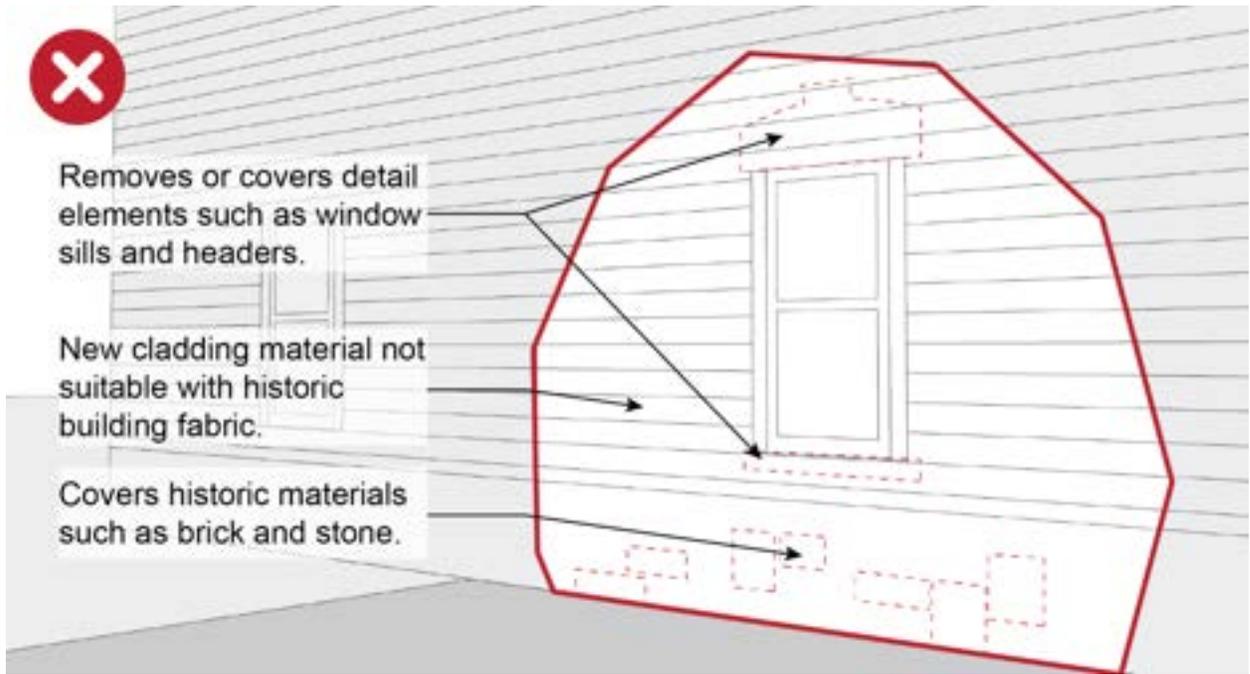


FIGURE 25 Graphic demonstrating incompatible alterations to exterior walls of *contributing* residential properties. This includes covering original materials such as historic brick and stone. TRACE

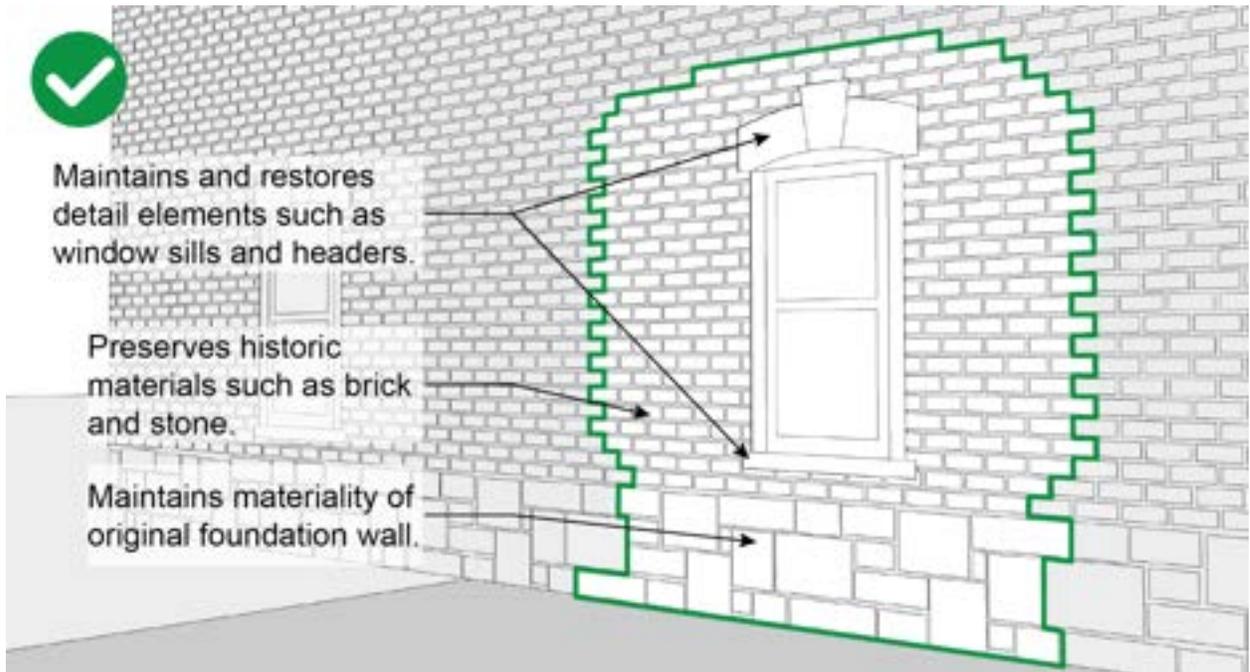


FIGURE 26 Graphic demonstrating appropriate alterations to exterior walls of *contributing* residential properties. This includes the maintenance and restoration of heritage attributes such as historic materials and decorative details. TRACE

3.3.4 Window and Door Openings

The form and shape of window and door openings and their features are important to the integrity of contributing properties and the District overall. Windows punctuate an elevation and establish the horizontal and vertical datum lines that organize and structure an elevation. Similarly, doors and door openings often provide a focal point for an elevation and structure the geometry and rhythm of its bays.

Exterior window and door features include architectural detail such as plain, stained, or coloured glass, original, distinctive frames of wood or metal, with divided lights, decorative treatments, and hardware. There may be mouldings that make the transition between the frame and the framed opening. Some window frames, door frames, sidelights, transoms, and glazing are original to the building, and these elements may be important features to the property's significance.

POLICIES

- 1. Alterations to the size, shape, and placement of windows and doors of contributing properties shall conserve the legibility of the primary structure's architectural style and typology;**
- 2. Maintain original window openings and entrances as well as their distinguishing features such as materials, surrounds/voussoirs, sills, frames, shutters, sash, and glazing;**
- 3. The removing or blocking-up of window and entrance openings that are important to the architectural character and symmetry of the building is not permitted;**
- 4. Alterations to the features and details of windows and doors of contributing properties shall conserve the legibility of the primary structure's architectural style and typology.**

GUIDELINES

- a) New windows on exterior walls facing the public realm should be installed sensitively and should have a design that is compatible in terms of proportions, rhythm, and scale with a building's existing window openings;
- b) Alterations to size, shape, and placement of doors of contributing properties to increase accessibility should conserve the legibility of the property's architectural style where possible to minimize the impact to the District's cultural heritage value and attributes;
- c) New replacement windows should be compatible with the original/ historic windows in terms of material (such as wood), proportions (such as ratio of horizontal to vertical dimensions), rhythm and scale (such as number of openings per building façade), and glazing patterns (i.e. sashes and glazing). Replacement windows shall convey the same, or a similar, appearance as the historic window and be physically and visually compatible;
- d) Conserving the historic muntin and sash profile and dimensions of windows is encouraged, where they exist;
- e) Conserving historically operable windows is encouraged, where they exist.

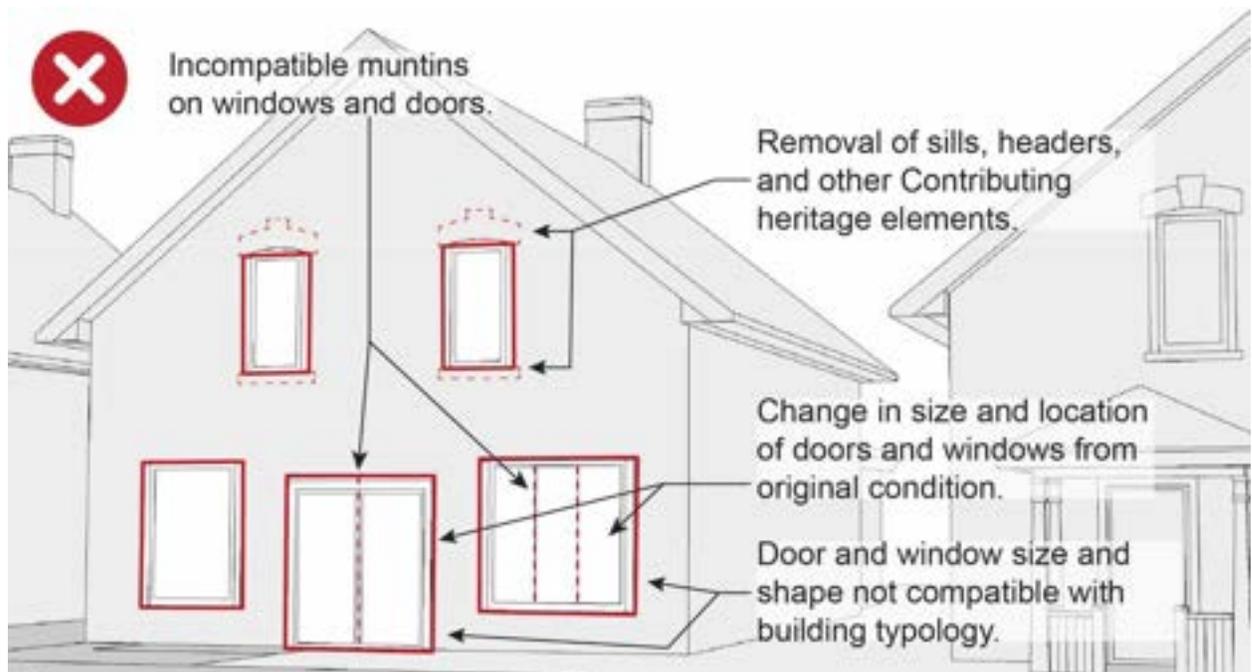


FIGURE 27 Graphic showing incompatible alterations to window and door openings of *contributing* residential properties. This includes the removal of architectural elements as well as altering the size and location of original openings. TRACE

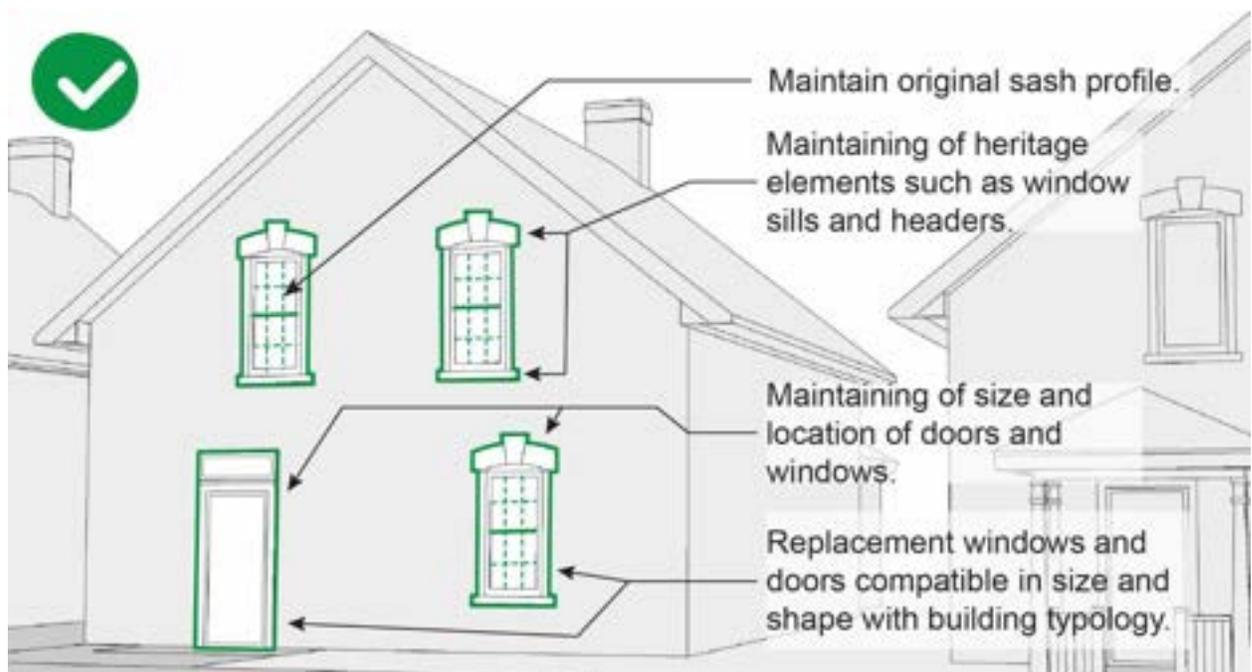


FIGURE 28 Graphic showing modifications to contributing residential properties that meet the policies and guidelines such as maintaining original opening locations and all heritage elements. TRACE

3.3.5 Entrance, Porch, and Verandah Alterations

A wide variety of entrance types and treatments reflect the range of architectural styles and expressions found in the District. Features of entrances, porches, and balconies in the Hespeler HCD may include stairs, ramps, railings, porticos, canopies, gables, pilasters, balustrades, metal work, woodwork detail, and decorative treatments.

POLICIES

- 1. Alterations to the features and details of entrances, porches and balconies of *contributing* properties shall conserve the legibility of the primary structure's architectural style and typology;**
- 2. Damaged or deteriorated entrance, porch, and balcony features shall be repaired rather than replaced;**
- 3. Character-defining porches or verandahs shall only be removed where they pose a life/safety threat. In such cases, they shall be thoroughly recorded prior to removal to allow for their accurate reconstruction;**
- 4. New entrances, porches, and balconies shall be physically and visually complementary to the District's cultural heritage value and heritage attributes.**

- a) Historic wood railings, balustrades, and columns that are part of entrances, porches, and balconies that reflect the architectural character of the contributing property should be conserved, where they exist;
- b) Alterations to entrances or porches of contributing properties to increase accessibility should conserve the legibility of the property's architectural style where possible to minimize the impact to the District's cultural heritage value and attributes;
- c) The design and construction of a new entrance/porch should be compatible with the character of the building. Restoration of a missing porch must be based upon historical, pictorial, and physical documentation, rather than conjecture, wherever possible;
- d) Enclosing porches with solid walls is discouraged, although glazed and screened enclosures may be considered if reversible and visually minimal;
- e) Entrance ramps may be permitted for barrier-free access in accordance with applicable legislation but should not be physically attached to buildings in such a way that it is permanently damaging to heritage building fabric. The addition of barrier-free access and accessible ramps should be a reversible alteration;
- f) Important features such as doors, glazing, lighting, steps, and door surrounds should be conserved wherever possible;
- g) Where new entrances or exterior staircases are required, they should be installed away from principal façades (i.e. on secondary elevations) wherever possible;
- h) Wood is encouraged to be used in the construction of new entrances and porches. Other materials, such as synthetic wood products will be considered on a case-by-case basis through the heritage permit process;
- i) Any application to replace an entrance, porch, or balcony feature due to deterioration may require the submission of a letter or documentation from a qualified person who can demonstrate experience related to the required work, to the satisfaction of Heritage Planning;
- j) Contemporary design and materials may be used for new entrances, porches, and balconies;
- k) New entrances, including secondary entrances and basement entrances, may be permitted and should be placed to minimize their visual and physical impact on the primary façade, where possible.



FIGURE 29 Image of a good example of a porch addition to a contributing property at 93 Queen Street East. TRACE

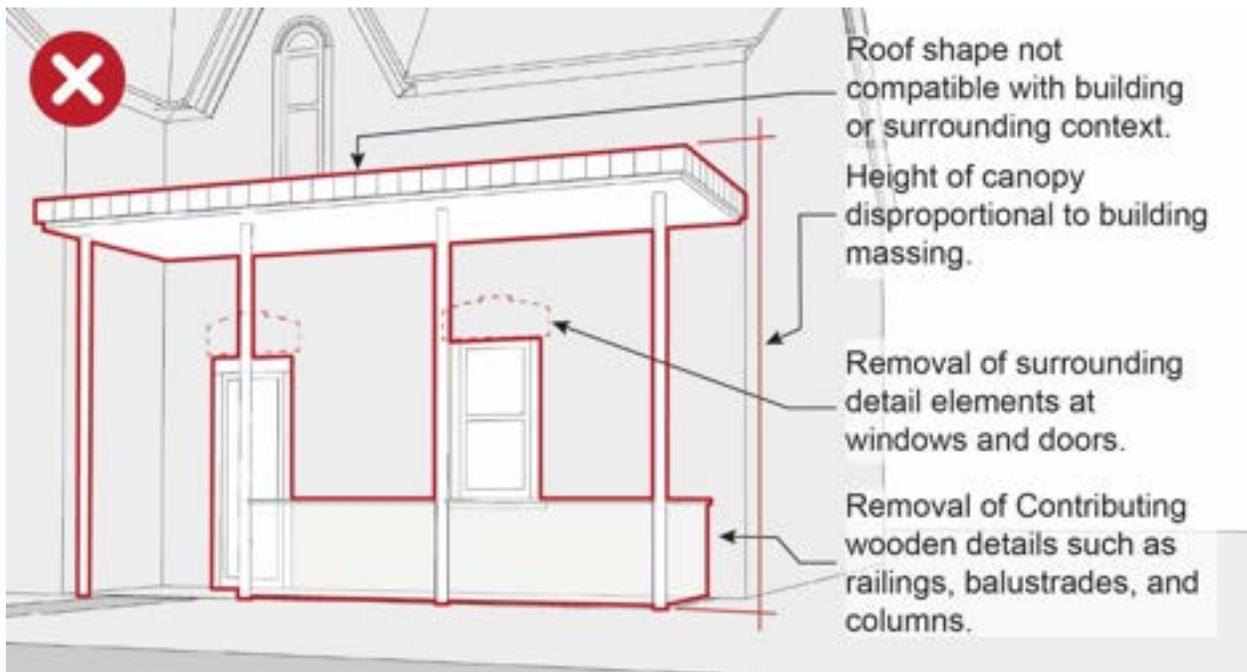


FIGURE 30 Graphic showing modifications to front porches and verandas of contributing residential properties that do not meet the policies and guidelines. This includes modifications to the porch roof that is not compatible with the surrounding context, or its height that is disproportionate to the property. TRACE

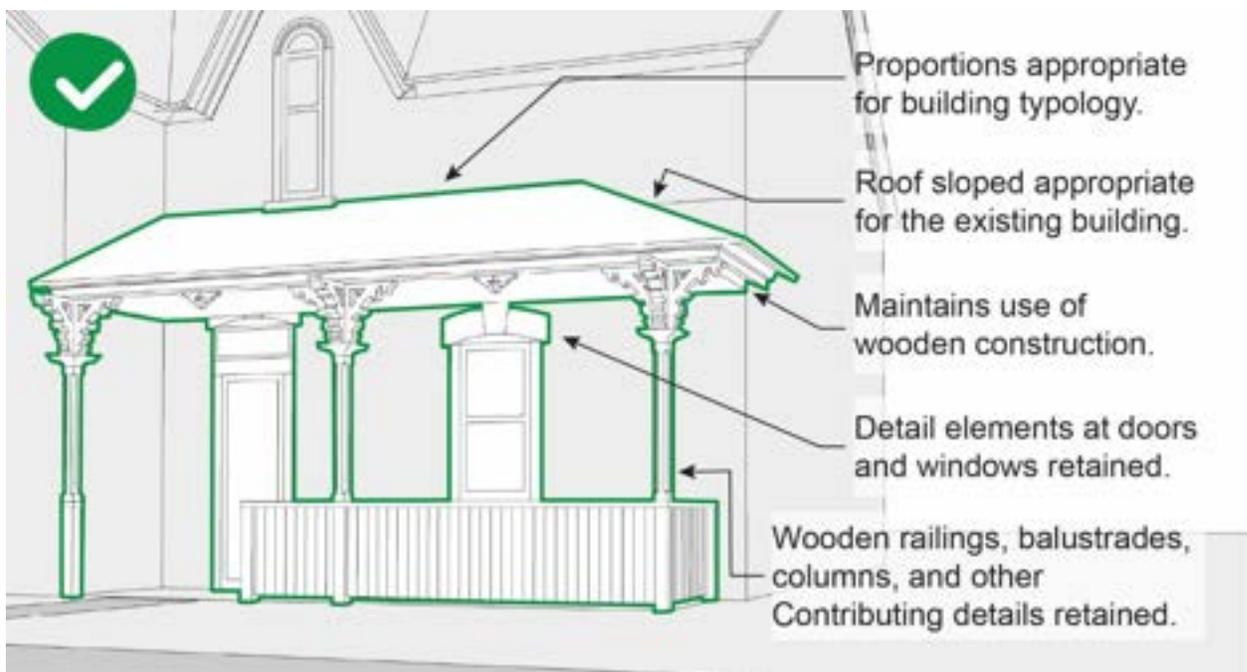


FIGURE 31 Graphic of a porch and verandah alteration that meets the policies and guidelines. The proportions and contributing heritage elements are conserved. TRACE

3.3.6 Additions

This section outlines guidelines for additions to residential buildings within the District. Additions are an important aspect of a building's evolution. While alterations are usually undertaken to improve comfort levels in an existing house (increase natural light or heat, for example), additions are usually undertaken to provide needed living space, such as additional bedrooms for growing families, separate kitchens, among others. The following policies and guidelines provide advice on how best to fit desired space into an existing heritage structure.

3.3.6.1 Location

POLICIES

1. **Additions are not permitted on the front façade and shall be located at the rear or to the side of the main building;**
2. **Side additions shall be set back from the front wall (primary façade) of the original building to preserve the prominence of the original structure;**
3. **The height of the roof ridge in new additions shall not exceed the height of the ridge of the original building;**
4. **Additions shall be limited in size and scale in order to complement the existing building and neighbouring properties.**

GUIDELINES

- a) Additions should be complementary to the main building and clearly secondary in terms of scale, massing, and height. They should also be clearly distinguishable in form and detail;
- b) Additions should be designed to avoid removal or significant alteration of heritage attributes or important architectural features. Where additions are constructed against rear or side walls, it may be acceptable to enclose original walls, provided this is done in a reversible and respectful manner. The original features should be retained, recorded, and ideally made visible from the interior;
- c) Additions should avoid causing irreversible changes to the original building;
- d) Where additions are visible from the street, their design should consider the horizontal and vertical patterns of the existing and/or neighbouring buildings including, overall proportions, alignment of windows and doors, as well as of cornice lines and rooflines;
- e) If possible, during the alteration process, record the alteration and retain samples of earlier materials that have been replaced;
- f) Multi-storey exterior additions are best set back as deeply as possible from the existing front wall plane in order to be unobtrusive in the streetscape and differentiate the addition from the older structure;
- g) Additions to structures with symmetrical façades should avoid creating asymmetrical arrangements (imbalance) in building form.

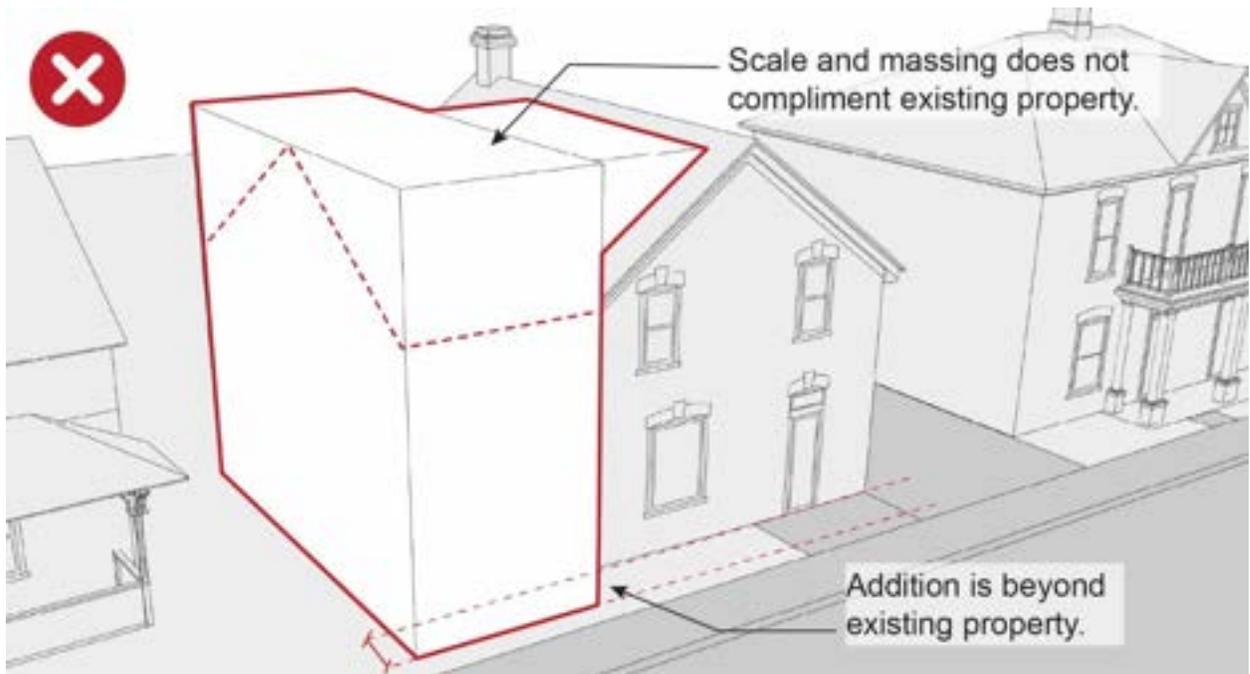


FIGURE 32 Graphic showing an addition location that does not meet the policies and guidelines. This includes an addition of a larger scale and massing than the contributing property and a building footprint that extends beyond the property’s primary façade. TRACE

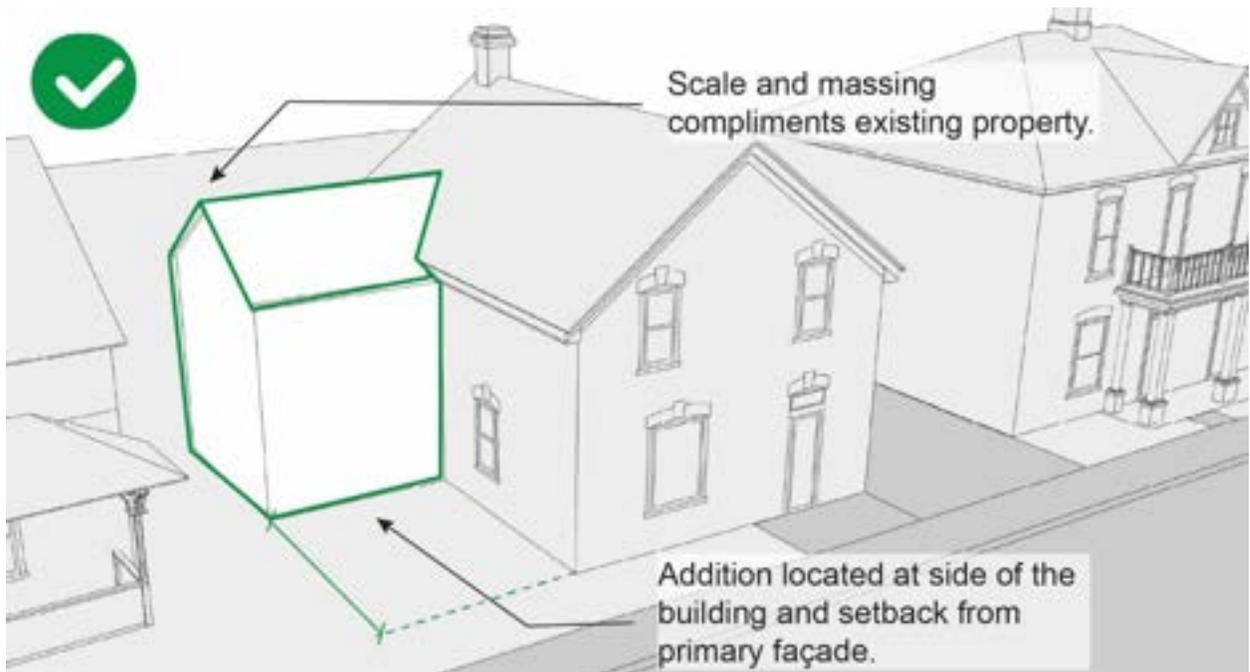


FIGURE 33 Graphic illustrating an addition to a contributing residential property that meets the policies and guidelines. The scale and massing of the addition is complementary and subordinate to the contributing property, and its footprint is set back from the primary façade. TRACE

3.3.6.2 Addition Designs

POLICIES

1. **New additions shall be designed in a manner which distinguishes between old and new, and that is compatible with the architectural style of the existing building;**
2. **Exterior cladding on additions to residential buildings shall be compatible with the cladding material of the original structure but should be a different and distinct material from the original building, in order to be distinguishable as a later addition.**

GUIDELINES

- a) Design of additions or those additions that reference design motifs of the existing building is to be encouraged. Compatible additions are complementary in terms of scale, mass, materials, form, and colour;
- b) Acceptable cladding for a new addition should reference cladding types that are common to the District (where permitted by the Building Code);
- c) Additions replicating the original cladding material are discouraged;
- d) The application of new cladding, surfaces, or coatings, including synthetic materials such as vinyl or aluminum siding, acrylic stucco, and Exterior Insulation and Finish Systems (EIFS) are discouraged on building façades facing the public realm. These materials and others, such as fibre cement board, metal panels, synthetic wood products, and other modern materials, will be considered on a case-by-case basis.

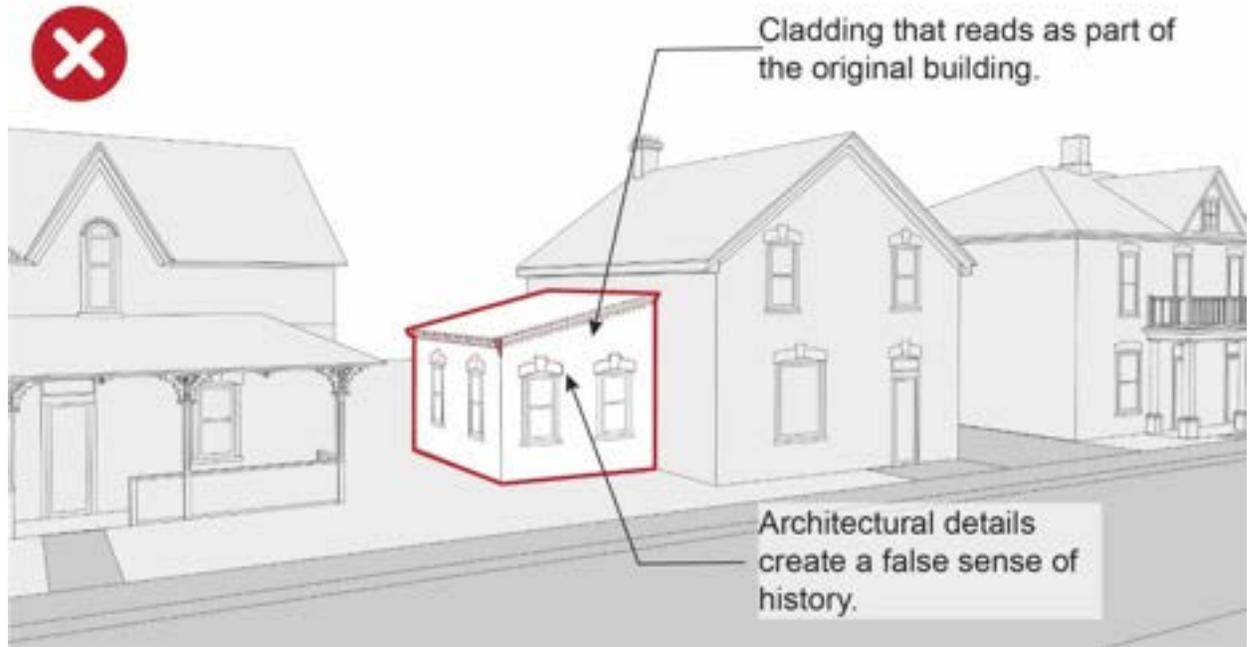


FIGURE 34 Graphic illustrating an addition that creates a false sense of history of the property. While the addition appears to be subordinate to and complementary of the contributing property, it is not distinguishable as a contemporary addition. TRACE

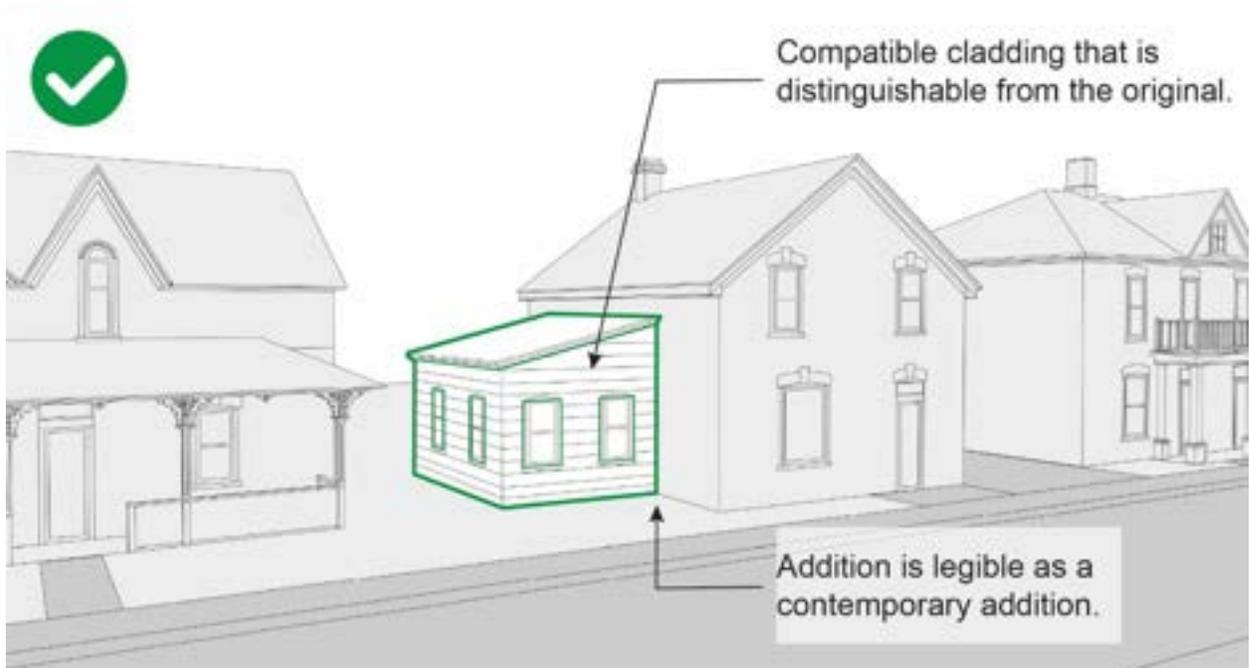


FIGURE 35 Graphic illustrating an addition of a similar scale however the design remains distinguishable from the original property. The addition is thus legible as a contemporary addition. TRACE

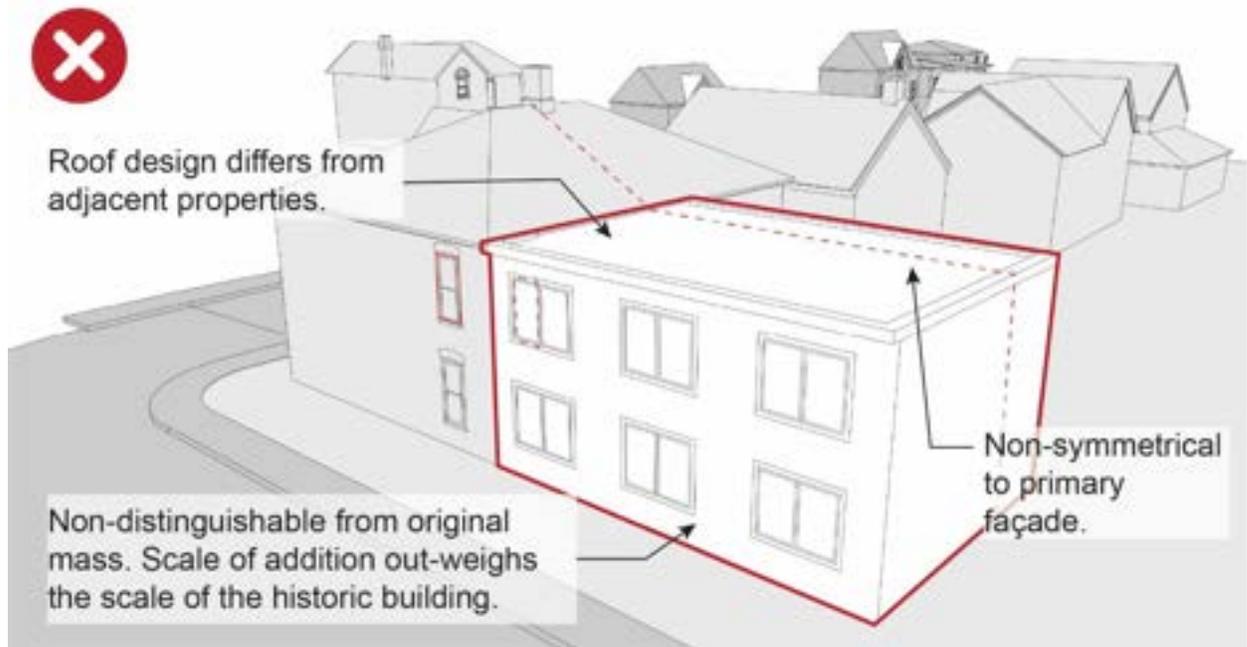


FIGURE 36 Graphic illustrating an addition to a contributing property on a corner lot. The addition does not meet the policies and guidelines due to contrasting roof designs and the loss of symmetrical qualities to the overall property. TRACE

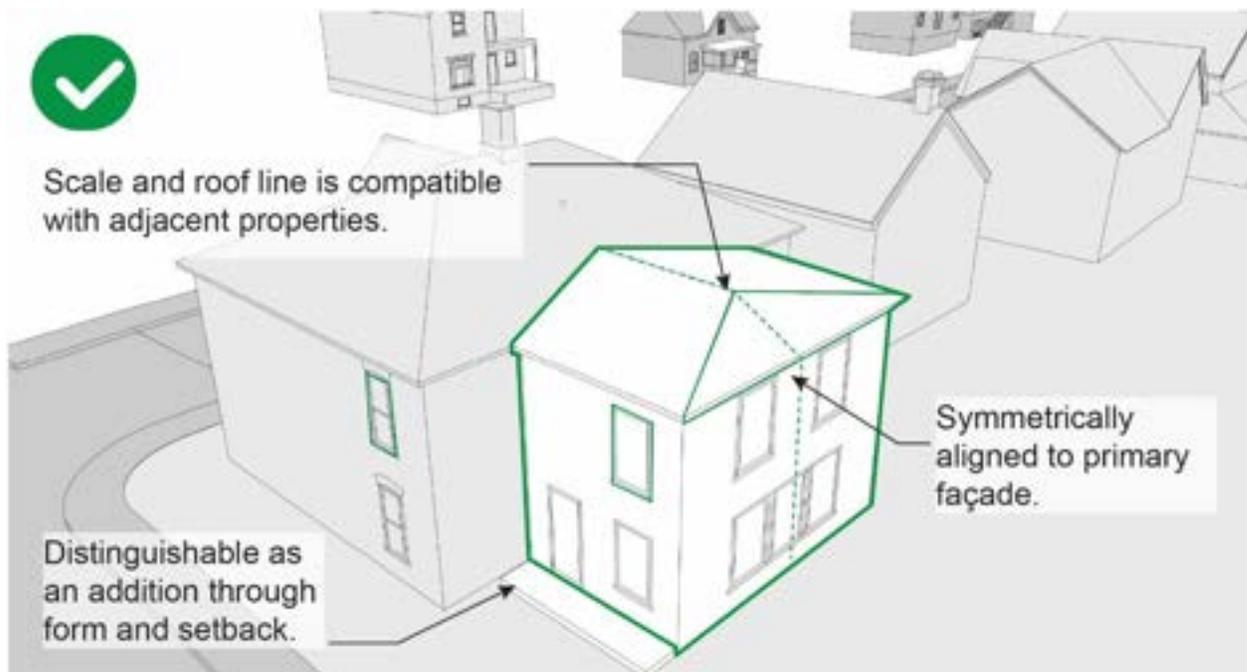


FIGURE 37 Graphic of a compatible addition to a corner contributing property. The addition honours the symmetry of the primary façade, is compatibly scaled to adjacent properties, and is distinguishable as an addition through form and setback. TRACE

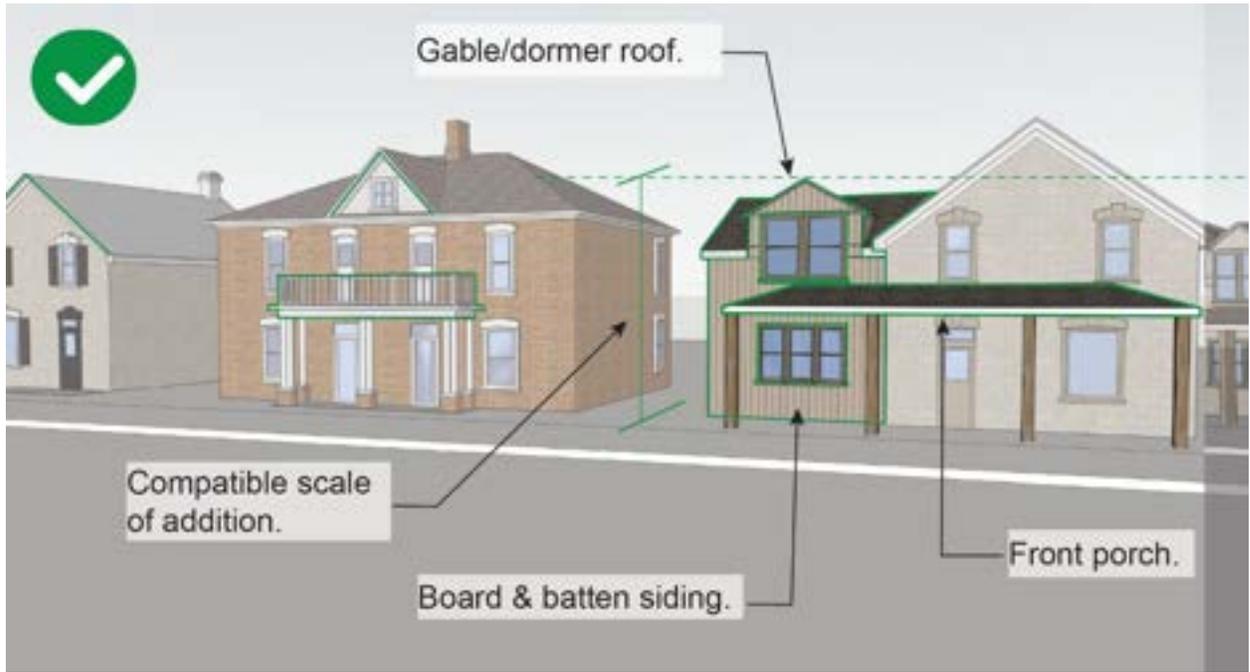


FIGURE 38 Graphic example of an addition to a contributing property within the Residential Character Zone. TRACE

3.3.6.3 Roof Additions

POLICY

1. The original roof configuration at the front of the building shall be maintained and not obscured by any addition. Similarly, roofing materials and associated features, such as fascia, trim, and brackets shall be retained and not obstructed.

GUIDELINES

- a) Roof types encouraged in new construction are front, side, and cross gabled. Roof types should be compatible with or sympathetic to the roof type of the main structure. In some cases, alternative roof types may be explored in order to be compatible with the existing building;
- b) Ensure that vents, skylights, and other new roof elements are sympathetic in type and material and that they are discretely placed out of general view from the street and public rights-of-way.



FIGURE 39 Image of an example of good roof addition design to a contributing property at 104 Cooper Street. The gable roof of the original property is complemented by the dormer window in the addition. TRACE

3.3.6.4 Window and Entrance Additions

POLICIES

1. Additions to residential buildings shall protect and maintain original and/or historic window openings as well as distinguishing features;
2. Additions to residential buildings shall avoid removing or blocking up window openings that are important to the architectural character and symmetry of the building.

GUIDELINES

- a) Additions should maintain or protect original and/or historic window openings, as well as such as materials, surrounds, frames, shutters, sash, and glazing on principal façades;
- b) New windows on additions visible from the public realm should be compatible with the windows of the original structure in terms of proportions (such as ratio of horizontal to vertical dimensions), rhythm, and scale (such as number of openings per building façade);
- c) Where new entrances or exterior staircases are required, they should be installed on secondary elevations and/or set back from the existing front building elevation.



FIGURE 40 Image of good example of the integration of contemporary windows within existing openings. The location of the addition maintains the original opening locations and is compatible yet distinguishable from the contributing property. TRACE

3.3.7 New Construction

The Hespeler HCD comprises a mix of building forms, types, and functions. New residential development may occur in various circumstances, including the construction of buildings on vacant lots or the replacement of existing structures with new ones. Infill development should respect the established character of the District by considering factors such as scale, massing, setbacks, materials, and architectural details. While new construction is permitted, it must be compatible with the heritage character of the area and align with the policies set out in this HCD Plan. Thoughtful design that reflects and reinforces the District's historical context is essential to maintaining its integrity.

POLICIES

1. **A heritage permit is required for all new buildings on both contributing and Non-contributing properties;**
2. **New freestanding buildings must be compatible with the heritage character of the area, respond sensitively to both the overall character of the District and the immediate context;**
3. **New residential buildings should reflect contemporary design while respecting the heritage context;**
4. **Blank façades facing the street are not permitted, including on new residential buildings situated on corner lots.**

GUIDELINES

- a) New buildings should complement adjacent properties, and heritage attributes. This extends to key elements such as lot patterns, building heights, street rhythm, massing, setbacks, scale, roof pitches, and exterior materials;
- b) As part of the permit process, applicants may be required to submit a CHIA if the proposed development has the potential to affect the cultural heritage value of the District. In many cases particularly for single residential infill, scaled architectural drawings that illustrate the new construction in relation to adjacent buildings and streetscape context may be sufficient to evaluate compatibility;
- c) They should not replicate historic architectural styles or incorporate authentic historic details inappropriately. While modern interpretations of historic forms and elements are encouraged, exact reproductions of historic buildings that create a false sense of history and disrupt the organic evolution of the built environment are not permitted.

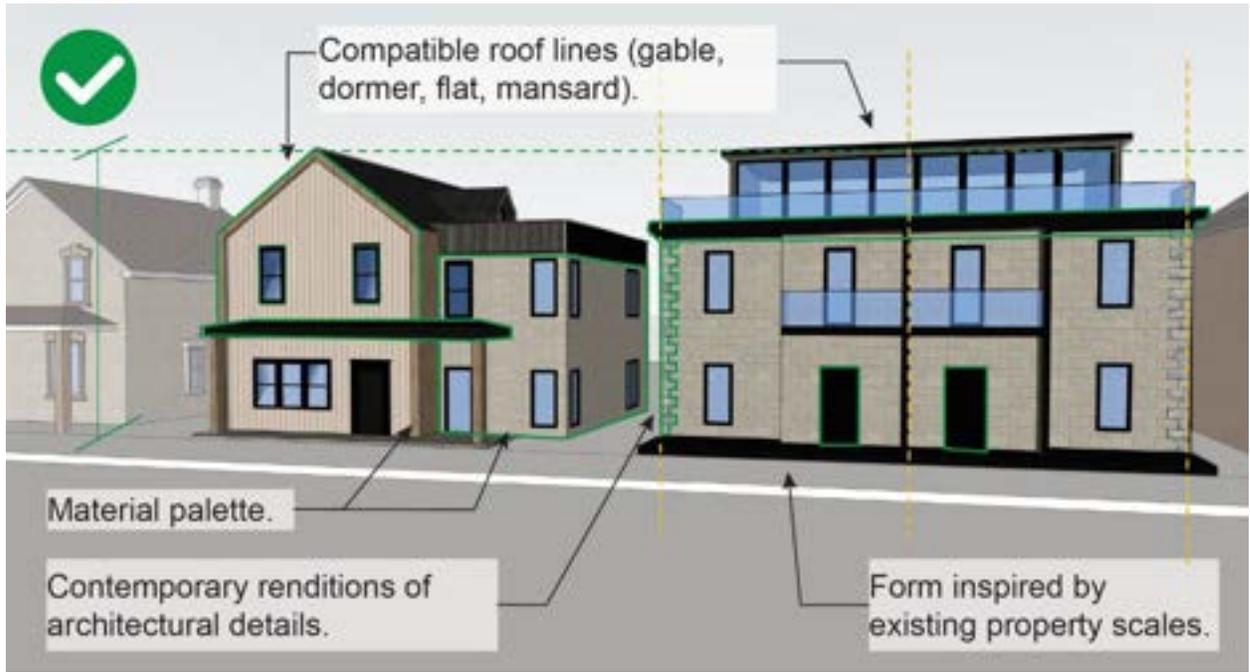


FIGURE 41 Graphic example of new construction within the Residential Character Zone of the Hespeler HCD. Both examples show contemporary renditions residential typologies found within the District. TRACE

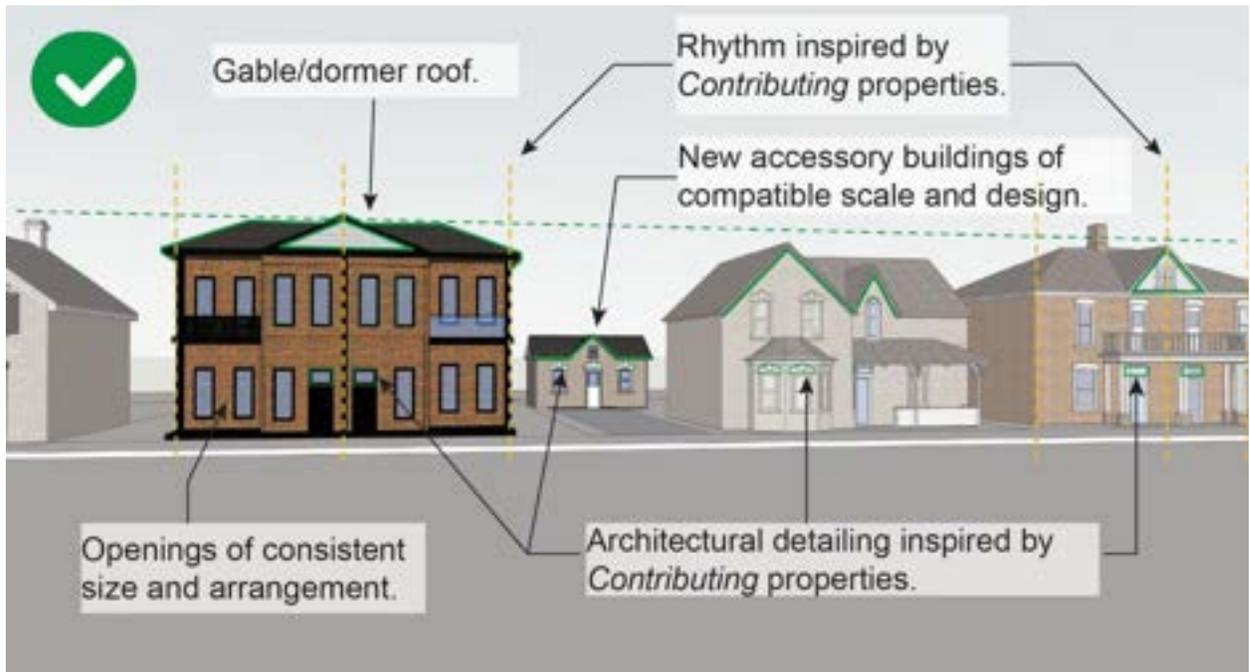


FIGURE 42 Graphic example of new construction and new accessory buildings within the Residential Character Zone of the Hespeler HCD. TRACE

3.3.8 Secondary Structures, Outbuildings and Additional Residential Units

Secondary structures and outbuildings, including Additional Residential Units (ARUs) may be permitted within the HCD subject to compliance with the Official Plan, Zoning By-law, and the policies and guidelines of this HCD Plan. ARUs must be designed and located to conserve and support the cultural heritage value and attributes of the District.

POLICIES

1. **The construction of small-scale outbuildings in the rear yard, such as garden sheds, greenhouses, or storage structures shall be permitted on both contributing and Non-contributing properties, provided they are appropriately scaled and sited to minimize their visibility from the public realm;**
2. **The design of ARUs shall consider the lot size, configuration and heritage context and not have adverse impacts of the heritage character of the property;**
3. **The sitting of ARUs shall not require the demolition or removal of heritage contributing resources;**
4. **ARUs should be located to the rear or side of the main dwelling and be clearly subordinate in scale and massing;**
5. **Original landscape features, mature vegetation, and historic accessory structures should be retained where possible when siting ARUs.**

GUIDELINES

- a) For contributing properties, new outbuildings should be clearly distinguishable from the historic building, yet compatible in form, scale, and massing. Materials and detailing should be simple and subordinate, avoiding mimicry of historic architecture while complementing the character of the property and the District;
- b) For Non-contributing properties, greater flexibility in the design of outbuildings may be allowed. However, materials, scale, and placement should still respect the character of the surrounding contributing properties and reinforce the heritage setting of the District.

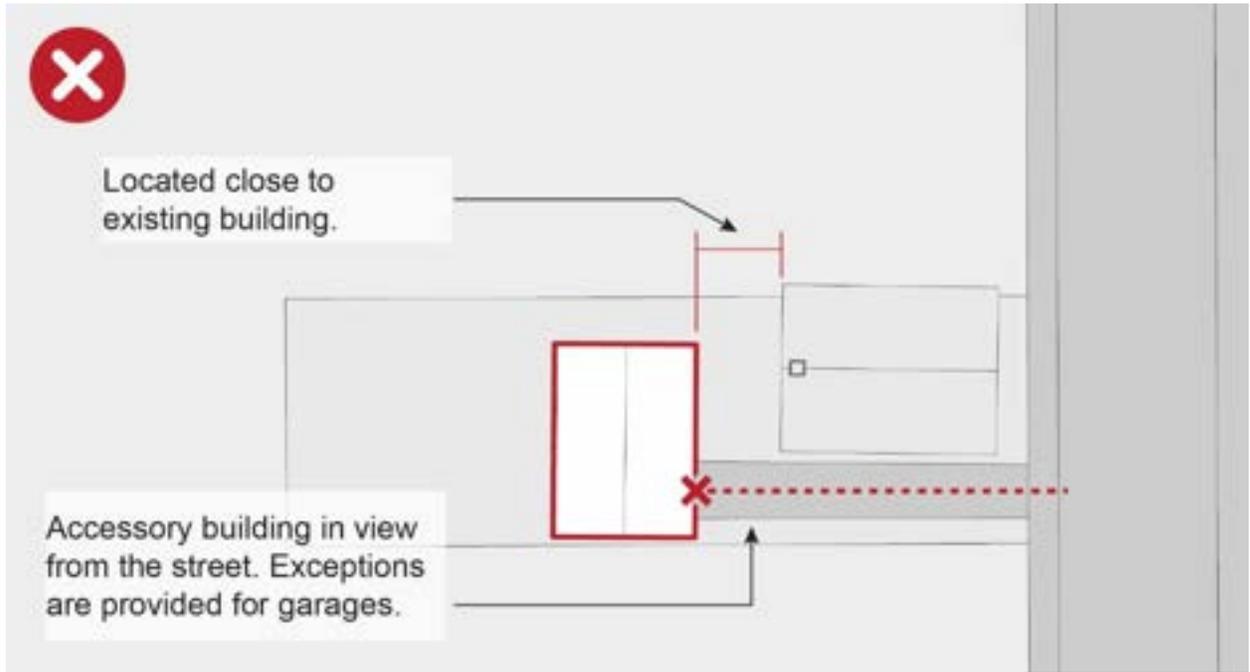


FIGURE 43 Diagram illustrating inappropriate location for a secondary structure on a contributing residential property. TRACE

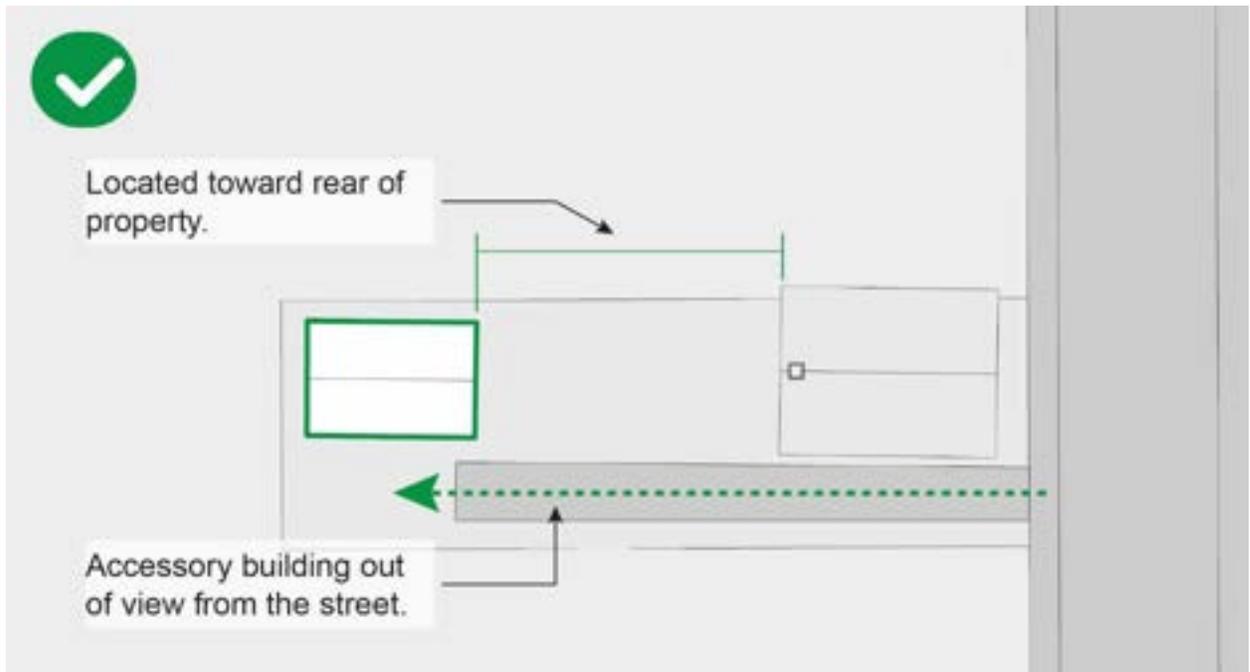


FIGURE 44 Diagram illustrating appropriate location for a secondary structure on a contributing residential property. TRACE

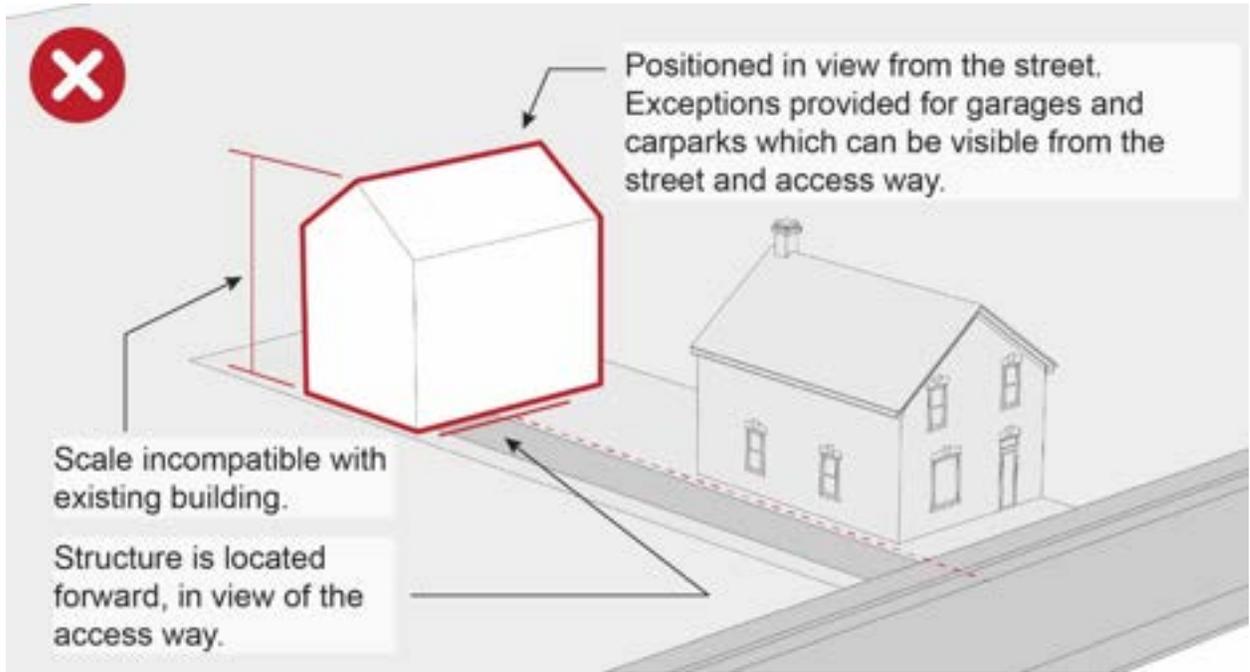


FIGURE 45 Diagram illustrating inappropriate scale and location of a secondary structure on a contributing residential property. TRACE

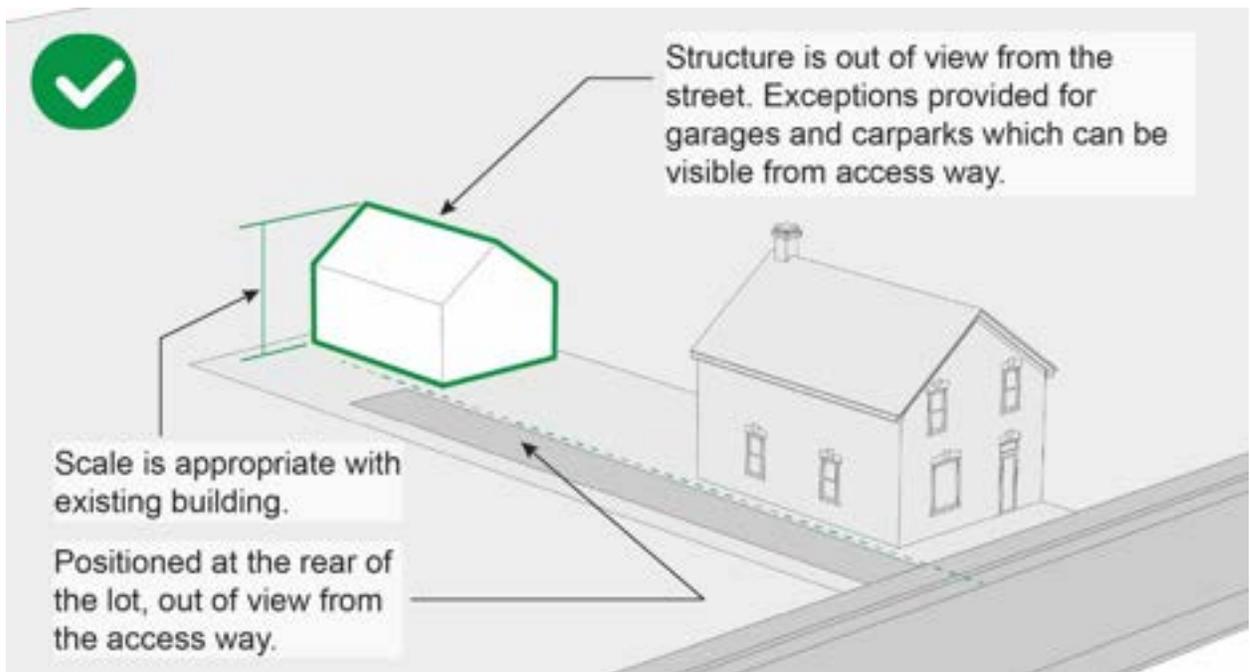


FIGURE 46: Diagram illustrating appropriate scale and location of a secondary structure on a contributing residential property. TRACE

3.3.9 Landscapes, Trees, and Vegetation

3.3.9.1 Trees & Vegetation on Private Lands

The majority of the District is covered by a mature tree canopy which significantly contributes to its heritage ambiance and aesthetics, regulates temperature and storm water, improves air quality and wildlife habitat, as well as provides numerous health benefits. This tree canopy is primarily the result of District residents, past and present, who had the foresight to plant trees. Trees and the soil to support them should be considered an integral part of Municipal infrastructure requirements.

POLICIES

1. **Every effort should be made to maintain existing mature trees where they do not pose a significant risk to health and safety or damage to nearby buildings, in keeping with the Natural Heritage and Environmental Management Objectives in the Cambridge Official Plan (Chapter 3);**
2. **Species and location of newly planted trees shall be compatible with significant viewscales.**

GUIDELINES

- a) Tree selection should prioritize biodiversity; non-invasive, native species; low maintenance requirements; resistance to drought, pests, diseases; and species that are generally considered hardy overall;
- b) Property owners are encouraged to retain and preserve existing shrubs, hedging, and ornamental fencing along the side yards and frontages;
- c) New trees and shrubs added to front and side yards should be selected from the species of trees recommended by the City of Cambridge Forestry department. Special attention should be made to avoid invasive and/or non-native species.

3.3.9.2 Landscape Features

Landscape features of the District’s residential properties reinforces the village-like character of the area. There is a rich variety of vegetation on private property. This includes a significant number of mature trees, gardens, and shrubs. These landscapes also include built features, such as fences and retaining walls.

POLICY

1. Front yards shall be kept mainly as landscaped space and not hard surfaced.

GUIDELINES

- a) There should be maximizing of landscaped open space in front yards, particularly along the sidewalk frontages of residential properties;
- b) Shrubs and vegetation located between side lot lines are in-keeping with the village streetscape and landscape patterns, and in some case reminiscent of laneways and paths. The retention of these vegetated side-lot lines shall be retained, wherever possible.



FIGURE 47 Property at 150 Queen Street West which includes retaining walls and shrubbery as part of its front lawn. TRACE



FIGURE 48 Properties at 80-84 Cooper Street maintain a setback from the street and allow for space for front lawns and shrubbery. TRACE

3.3.9.3 Fencing, Walls, and Steps

Fences, retaining walls, and steps play a significant role in shaping the character of the streetscape and landscape within the Hespeler HCD. The following guidelines support the use of appropriate materials and configurations that are consistent with the District's heritage character:

GUIDELINES

- a) Traditional materials such as wood, wrought iron, stone or masonry are preferred for fences and walls, especially where visible from the public realm. Vinyl, pressure-treated lumber, and concrete block are discouraged in highly visible areas;
- b) Front yard fencing should be low in height (generally no more than 3–4 feet or 1–1.2 m) and set back from the primary façade. Fencing should not obscure views of buildings from the street and should minimize visual disruption of the heritage character of the streetscape;
- c) Side and rear yard fencing may allow for greater privacy and height (typically up to 6 feet or 2 metres), provided it is constructed with materials that are compatible with the heritage character of the property. Solid or opaque fencing should be limited to areas not visible from the public realm;
- d) Permanent chain link fencing is discouraged in all yard locations where it is visible from the street. Where permitted for rear or side yard uses, chain link fencing should not exceed 6 feet (2 metres) in height. Fencing higher than this threshold should be reviewed through the permit process and may require additional justification;
- e) Temporary fencing, such as that used around active construction sites or to secure hazardous or derelict properties, must be installed in a manner that avoids damage to heritage features or public realm improvements. The following apply:
 - I. Temporary fencing should be of durable construction (e.g., metal panels or mesh hoarding) and maintained in good condition throughout its use;
 - II. Fencing must be removed immediately once the need no longer exists (e.g., after construction or site remediation);
 - III. The owner is responsible for regular upkeep of temporary fencing, including any necessary repairs or graffiti removal;
 - IV. Where feasible, visually neutral materials and colours should be used to reduce visual impact.

- f) Permanent chain link fencing is discouraged in all yard locations where it is visible from the street. Where permitted for rear or side yard uses, chain link fencing should not exceed 6 feet (2 metres) in height. Fencing higher than this threshold should be reviewed through the permit process and may require additional justification;
- g) Existing historic stone retaining walls should be preserved and maintained. Where repair is required, the use of matching stone, mortar type, and construction techniques is encouraged to maintain structural integrity and visual continuity;
- h) Original steps, particularly those visible from the street or made of heritage materials such as stone or early concrete, should be retained wherever possible. When replacement is necessary due to deterioration, new steps should replicate the form, material, and detailing of the original, or be sympathetic to the period style of the building.

3.3.9.4 Amenity Lighting

Historically, there was very little amenity lighting provided on residential properties. Notwithstanding the lack of historical precedents, amenity lighting is permitted within the Hespeler HCD to illuminate pathways, steps, verandahs and porches, and special landscaped areas, as it does not have a negative impact on the character of the area.

POLICY

1. **The installation of new amenity lighting shall ensure that the heritage attributes of the property are not adversely affected, and that there is no light trespass or spillover towards adjacent properties and the public realm.**

GUIDELINES

- a) Replicas of historical light standards are not required, as installing replicas of a particular era contrasts with the variety of eras represented by the District resources. Contemporary light standards are appropriate;
- b) Consider using fixtures with a soft amber hue to maintain the character of the District and avoid bright white or bluish lighting.

3.3.9.5 Walkways and Driveways

GUIDELINES

- a) The paving of landscaped open space to provide additional parking areas in front yards is not permitted;
- b) Maintain the historical character of streetscapes by preserving original driveway and walkway materials where possible;
- c) Minimize the visual impact of new driveways and walkways on heritage buildings and landscapes;
- d) Encourage the use of materials that are historically appropriate and compatible with the District;
- e) Accessibility should be considered in the selection of materials and installation (refer to the Accessibility for Ontarians with Disabilities Act - AODA - guidelines);
- f) Changes to driveway entrances, parking, and other hard-surface areas on private property should be carefully planned to ensure that compaction of the street tree root system does not occur. Generally, an area around the base of the tree equal in diameter to the crown of the tree should remain undisturbed to protect the long-term health and survival of the tree.

3.4 Commercial Character Zone

The Hespeler Commercial Core developed compactly due to the steep slopes of the river valley, resulting in a dense mix of residential, commercial, institutional, and industrial uses along its hillsides and narrow valley floor. The skewed street grid, shaped by the topography, creates dynamic views and vistas throughout the area. The downtown core is a collection of retail and residential buildings, punctuated by architecturally significant institutional structures such as churches, the post office, the town hall, and library, while the surviving mill buildings and former factories line the periphery.

Heritage Attributes include:

- A collection of commercial buildings that retain their original storefronts and architectural details, especially along Queen Street;
- Notable institutional buildings, including the former Hespeler Town Hall and local churches with original architectural features;
- Queen Street's historical role as the commercial hub, reflecting Hespeler's evolution from a small settlement into an urban centre;
- Traditional streetscapes, including pedestrian-friendly sidewalks and views of the Speed River;
- A variety of social and cultural activities hosted in downtown Hespeler, which are facilitated by the commercial core and central gathering spaces of Forbes Park, which have served community-based initiatives, ceremonial, and parade routes, as well as commemorative devices that integrate Hespeler's historical events with the everyday experience of place.

The Commercial Character Zone is home to numerous institutional and public buildings that contribute to its rich heritage character, many of which are already designated under Part IV of the *Ontario Heritage Act*. These include prominent landmarks, for example, the historic churches, the Hespeler Library (the Idea Factory), and the former Town Hall, each of which reflects the architectural and cultural history of the community. Their individual designations recognize their significance and ensure their protection, complementing the broader conservation efforts of the HCD planning process.

Due to the mixed-use nature of the commercial core, policies, and guidelines for residential buildings within the commercial zone shall follow those under **Section 3.3 - Residential**. For parks and public realms within the commercial character area, such as Forbes Park and Little Riverside Park, policies and guidelines from **Section 0 – Public Realm** shall apply.

These policies and guidelines should be read in conjunction with the Whole District policies and guidelines for New Construction in **Section 3.2**.

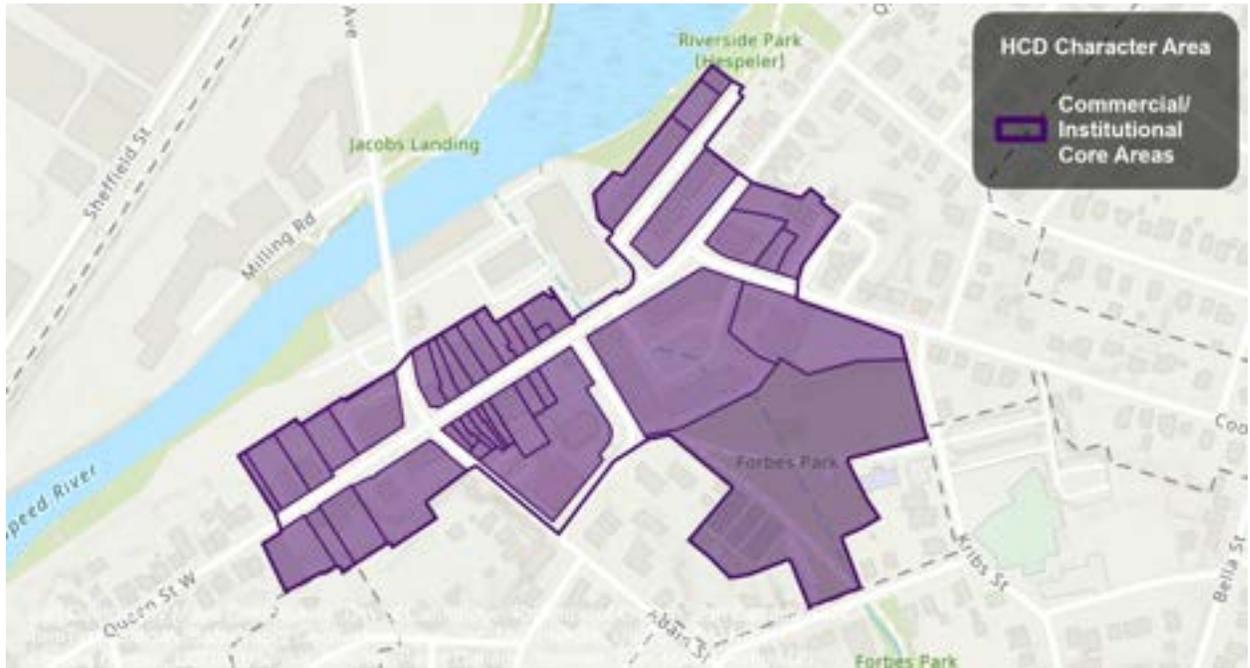


FIGURE 49 District Map showing Commercial Core Sub-Area.

3.4.1 Alterations – General Commercial

3.4.1.1 Storefront and Street Façade Alterations

The Queen Street commercial core is characterized by a continuous “commercial street wall,” where 2- to 3-storey buildings are constructed to the street frontage and side lot lines. Recessed entrances are the only variation from this established pattern. These built forms and streetscape characteristics should be conserved to maintain the historic rhythm of the street. Storefronts must demonstrate their retail use at grade, while balancing evolving commercial needs with the architectural integrity of the building. Conservation of storefronts requires preserving permanent architectural elements, while accommodating retail displays that can adapt over time without altering the heritage value of the resource. The following policies and guidelines for commercial structures provide direction to ensure that change within the commercial area respects and conserves the historic character of the District.

POLICIES

1. **Maintain the continuous streetwall where it exists;**
2. **Ensure storefronts present a clear commercial presence at grade;**
3. **Storefronts may have historic value even if they are later additions, therefore, conserve existing storefronts by repairing rather than replacing elements that are sound and compatible with the building’s façade. Later additions may also have heritage value.**

GUIDELINES

- a) Retain recessed entrances on existing buildings;
- b) Where possible, and without damaging heritage fabric, remove contemporary, incompatible, storefront fabric to reveal and rehabilitate earlier original fabric;
- c) Allow contemporary storefront designs at grade if they do not damage heritage fabric, and are visually compatible with the upper facades and adjacent buildings;
- d) Examine and carefully remove contemporary storefront fabric to determine whether or not earlier or original heritage fabric can be revealed underneath. This fabric may be available for rehabilitation;
- e) Existing storefronts may be restored to an earlier period or style provided restoration is based upon historical documentation.



FIGURE 50 Diagram demonstrating signage for that follows the policies and guidelines for commercial storefront. TRACE

3.4.1.2 Roof Alterations

Rooflines in the commercial core are typically flat or mansard, often accented with corbels, cornices, and projecting firewalls. They establish a spatial hierarchy, with the roof forming one-third of the building's height above the two-thirds below. Preserving the form and materials of roofs is essential to protecting the heritage fabric beneath.

POLICIES

1. The overall roof shape of properties shall be maintained;
2. Decorative features such as corbels, cornices, dormer windows, trim, and brackets made of wood and brick shall be conserved.

GUIDELINES

- a) The design, massing and placement of alterations should conserve the original or restored roof form and profile of the building, as viewed from the public realm;
- b) Favour maintaining flat and mansard roofs with dormer windows, where possible;
- c) Ensure new roofs or alterations match existing rooflines and ratios, in one third roof and two-thirds building, including the building height of 3-storeys;
- d) Ensure new roof items such as vents or skylights are out of general view from the street;
- e) Ensure that the form, materials and colour of eavestroughs and downspouts do not negatively impact the integrity of the contributing property;
- f) The addition of solar panels may be permitted but should not damage or remove heritage fabric. Solar panels should be installed in areas that are out of view from the public realm.



FIGURE 51 Existing typical roof lines within the commercial and industrial core. Some buildings built in the late 19th century and early 20th century have mansard roofs and dormers. TRACE

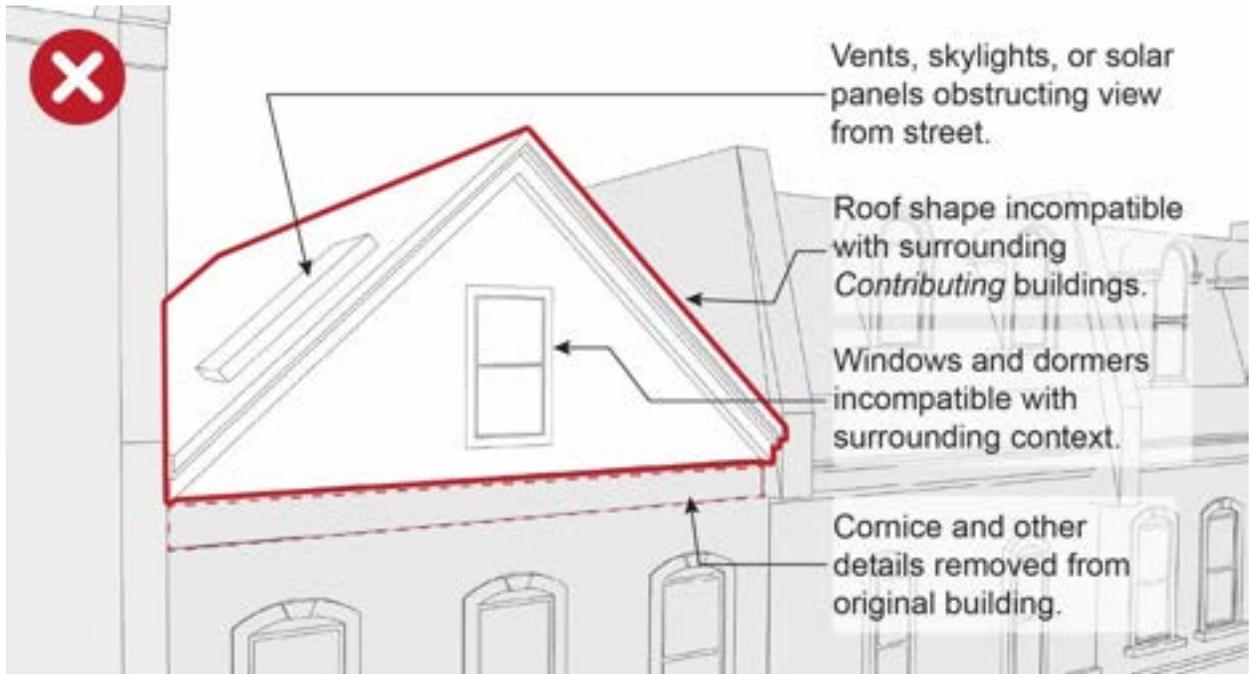


FIGURE 52 Incompatible roof alteration within the commercial core. While gable roofs are found in the wider District, it does not inspire from adjacent *contributing* properties within the commercial core. TRACE

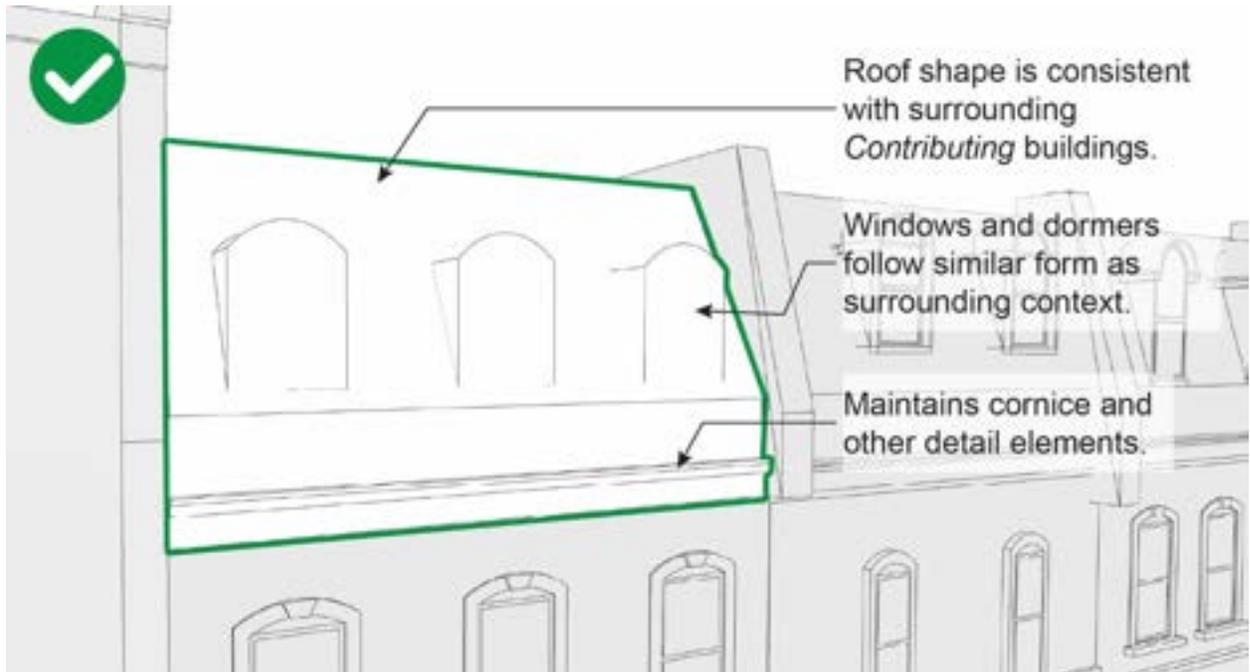


FIGURE 53 Appropriate roof alteration through the use of dormers and rooflines to match adjacent properties. TRACE

3.4.1.3 Window Alterations

Windows are important in maintaining the heritage character of the building façades. They create visual continuity and contribute to the coherent character of the downtown. In commercial buildings, consistent window placement helps unify the block face and reinforces the overall streetscape. The commercial core is characterized by traditional storefronts at the ground floor, punched windows on the upper storeys, and dormers on buildings with mansard roofs. Many windows include decorative elements such as stone or brick sills, keystones, and jambs, which influence their placement and size and add to the heritage character of the façades.

POLICIES

- 1. Maintain original window openings; they shall not be covered, enclosed, or altered in size;**
- 2. Do not permit new openings above storefronts. Window locations above storefronts must be preserved or restored to their historic size, placement, and symmetry;**
- 3. Conserve original window openings and their associated decorative elements (e.g., lintels, sills, trims, shutters, jambs, keystones).**

GUIDELINES

- a) Prioritize repair of original window materials and features. Replacement may be considered through the Heritage Permit process, provided new windows respect these policies;
- b) Minor alterations may be permitted where determined to be appropriate, including the installation of features to increase building performance and life cycle;
- c) Favour energy-efficient upgrades that retain historic windows, such as exterior storm windows or interior magnetic storm glazing;
- d) When replacing non-original windows, use designs compatible in proportion, scale, and pattern with historic examples. Variations on historic patterns may be permitted where appropriate and documented;
- e) Ensure that the form, materials and colour of eavestroughs and downspouts do not negatively impact the integrity of the contributing property.

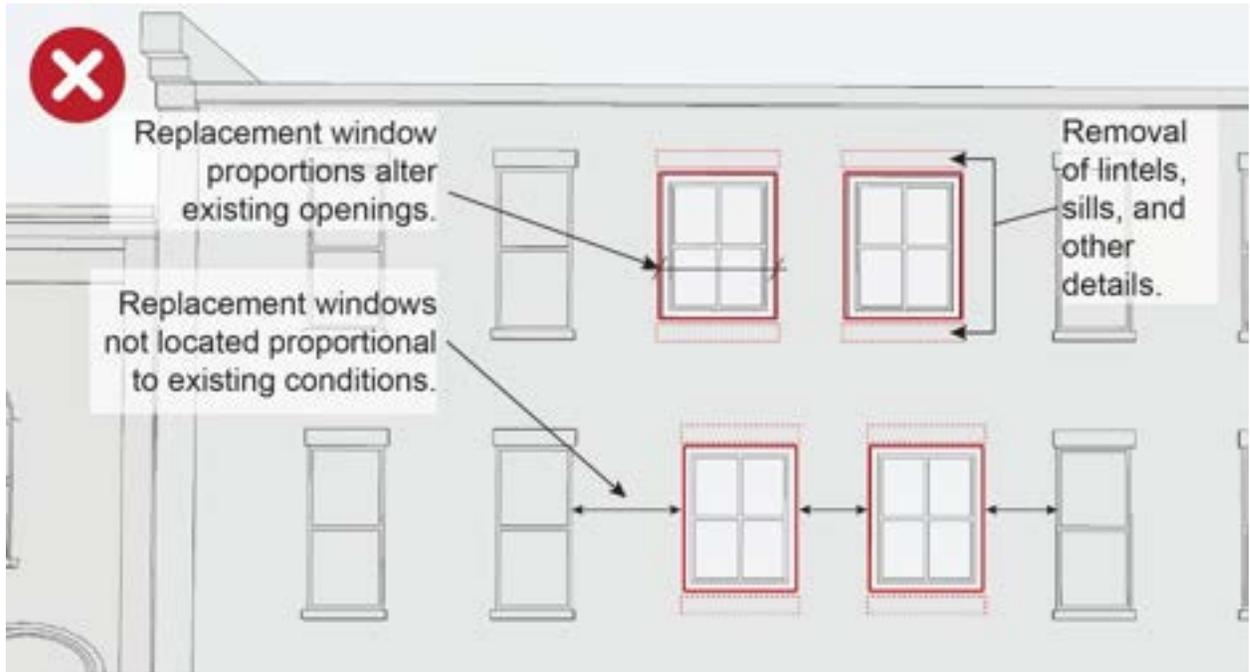


FIGURE 54 Graphic of incompatible window modifications to contributing commercial properties. The original opening location has been altered and its heritage attributes removed. TRACE

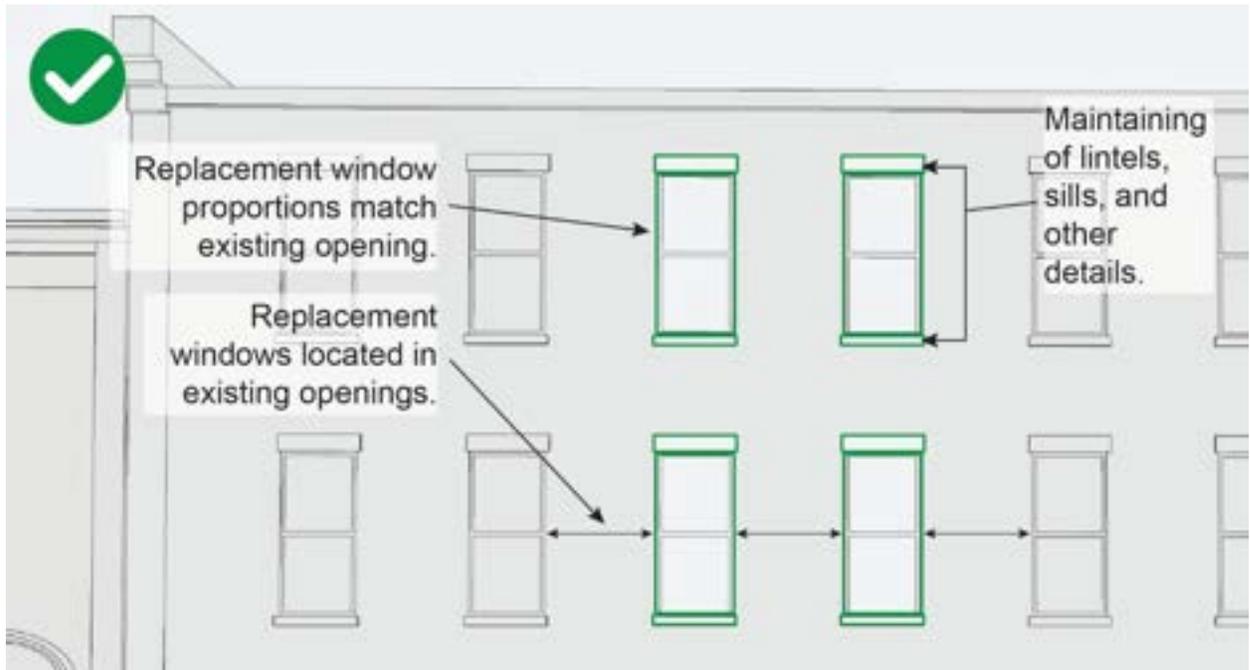


FIGURE 55 Graphic of compatible window modifications to contributing commercial properties. The opening locations, sizes and architectural details are retained. TRACE

3.4.1.4 Entrance Alterations

The ground floor of the commercial buildings entrance, combined with the storefront glazing are important character-defining elements. In a range of styles, entrances are uniformly recessed within the building and include an element of glazing, such as glazed storefront doors, doors with windows, or transoms. These are important in maintaining the transparency and visibility of the commercial uses.

POLICIES

1. **Entrances to commercial buildings from the main street are key character-defining elements and shall be retained and maintained;**
2. **Recessed entrances are to be maintained where they exist;**
3. **Garage, service entries and vehicular access points shall not be permitted on the Queen Street façades of contributing or Non-contributing properties. All new garages, parking access, or related service entries shall be located on secondary façades, side streets, or rear lanes to preserve the historic commercial character, pedestrian orientation, and continuous streetwall of Queen Street.**

GUIDELINES

- a) Alterations to entrances shall draw from buildings in the immediate context including design, rhythm, and proportions. Contemporary entrances are permitted provided they are in keeping with the building and immediate context;
- b) Locations of entrances shall not be altered. Conserve original features such as doors, glazing, transoms, lighting, steps, and architectural door surrounds;
- c) New entrances and doors should respect the existing patterns of adjacent storefronts;
- d) Where new entrances or other egress are required, they should be located at secondary elevations;
- e) Where garage, service or vehicular access is required, it should be designed to minimize its visual impact on the public realm. Preferred locations are at the rear of the property or along secondary streets. Access should be screened with landscaping, fencing, or architectural treatments that are compatible with the character of adjacent heritage resources. Driveway widths should be minimized, and garage doors should not dominate the visible façade;
- f) Entrance ramps are permitted for accessibility legislation purposes and should be integrated into the design of the entrance in a way that minimizes their visual impact. Wherever possible, locate ramps on secondary façades e.g., side entrances) rather than principal façades, particularly on highly visible or symmetrical storefronts.

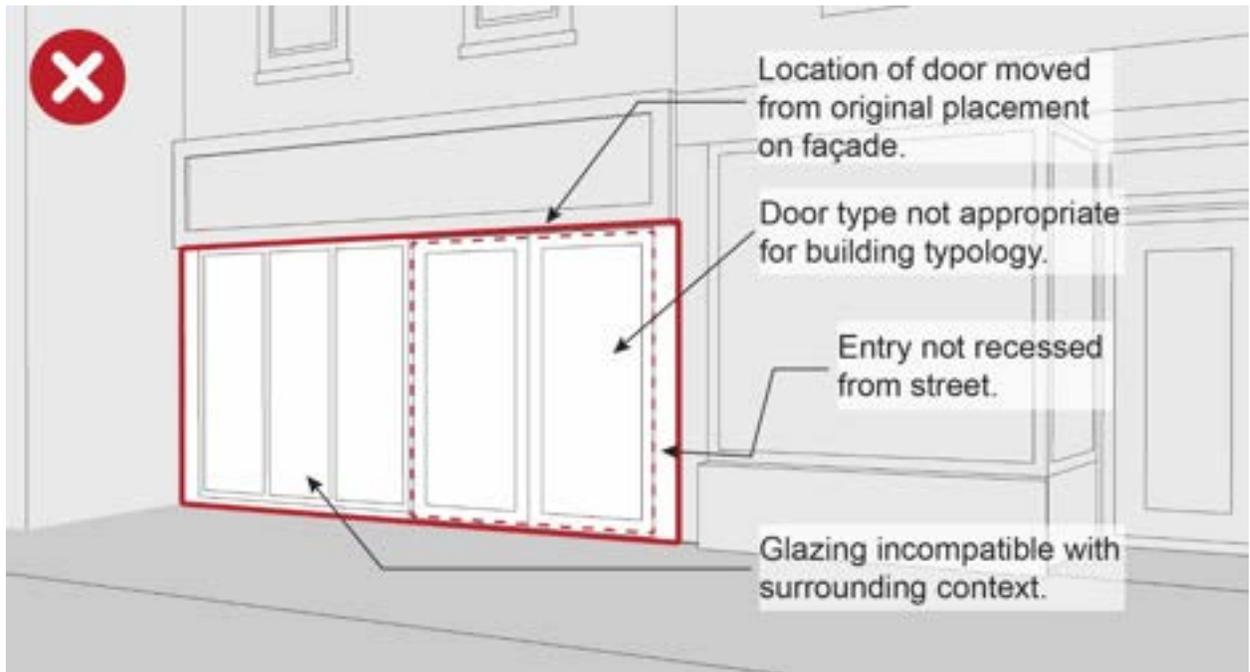


FIGURE 56 Graphic of modifications to the entrance of a contributing commercial property that is not in keeping with the heritage policies and guidelines. TRACE



FIGURE 57 Graphic showing modifications to contributing commercial properties that meet the policies and guidelines. The entry is recessed from the street and maintained in its original location. The storefront glazing is compatible with the surrounding context. TRACE

3.4.1.5 Signage Alterations

Signage within the commercial core is an important contributor to the area's historic character, particularly when designed in keeping with traditional storefront proportions and materials. To preserve this character, signage must be compatible with the building's architectural features and the broader streetscape.

POLICIES

1. **Signage is permitted only within the signage zone, typically limited to the storefront transom area, awnings, or storefront windows at the ground level;**
2. **Signage above the first storey (grade) is not permitted;**
3. **Internally illuminated or backlit signs are not permitted;**
4. **Signs shall not obscure or damage architectural features such as windows, cornices, pilasters, or decorative elements;**
5. **Mounting hardware should be reversible and should not require removal of or drilling into stone, brick, or other heritage materials.**

GUIDELINES

- a) Logos and text should be applied to transom panels, storefront glazing, or awnings. Direct mounting of signage to historic masonry or decorative façades is discouraged, especially where it may damage heritage fabric. Logos and signage should be reduced to transom panels, existing storefront windows, awnings where possible, and not fixed to the building;
- b) Discourage the use of retractable awnings or round vinyl window awnings;
- c) Signage should be lit using non-backlit, external lighting fixtures such as gooseneck lamps or spotlights that are sympathetic in scale and finish;
- d) Digital displays are not recommended.



FIGURE 58 Graphic showing signage additions that do not meet the policies and guidelines for commercial properties. The signage should not project beyond the dedicated signage zone. Windows should not be covered by signage or other elements. TRACE

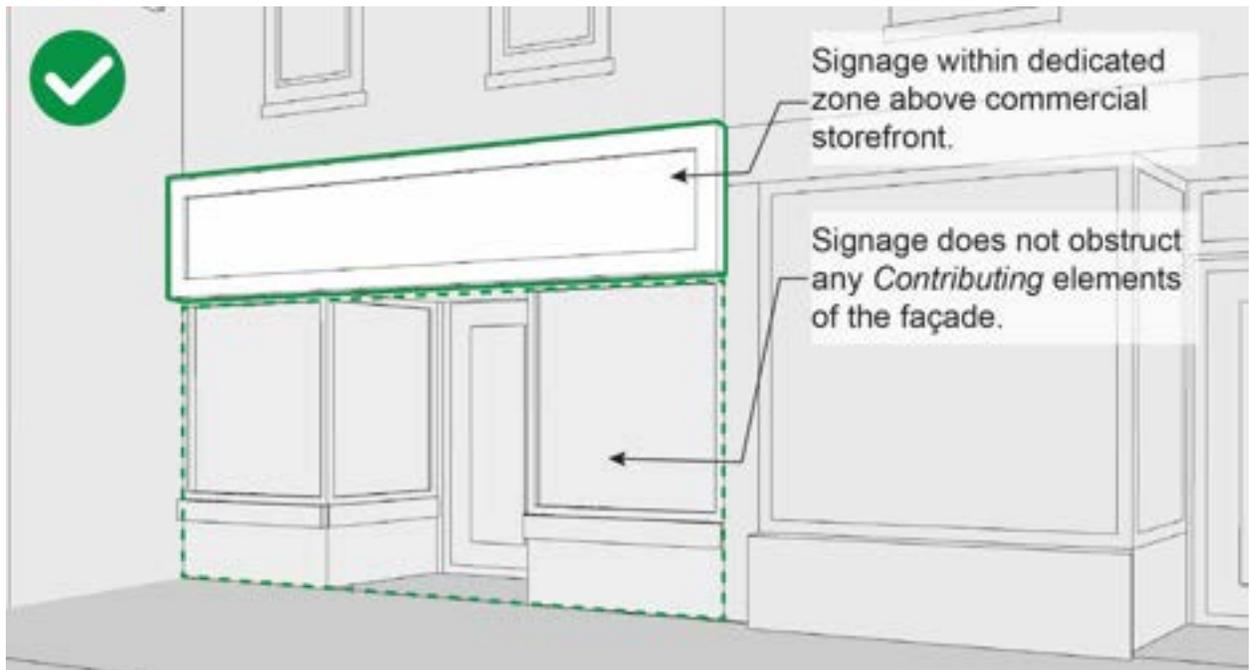


FIGURE 59 Graphic showing effective use of the policies and guidelines for signage additions. The signage remains within the dedicated zone above the commercial storefront at the windows are unobstructed. TRACE

3.4.2 Additions – General Commercial

The heritage value of the commercial core is due in part to the evolution of the area, which has changed over the last century. Over time, some buildings have seen renovations or additions. The design of additions should ensure compatibility with heritage fabric as it relates to scale, massing, and form, while minimizing impact to character-defining elements.

3.4.2.1 Removal of Heritage Building Fabric

The commercial core has retained much of its original heritage fabric, contributing greatly to its heritage value as a well-conserved downtown. The removal of original fabric obscures heritage value and negatively impacts the legibility of the District as a whole.

POLICY

1. **Minimize the removal of heritage fabric. If removal is required for new openings or for an addition, the heritage fabric must be documented, carefully removed, and kept on-site so that it may be used in the future, rendering the intervention reversible.**



FIGURE 60 Example of a compatible addition to a contributing property within the commercial sub-area. The roof and dormers recall the adjacent properties' opening sizes and locations.

TRACE

3.4.2.2 Addition Design, Location and Height

Existing commercial buildings are approximately 2-3 storeys in height. The reduced height within the commercial core contributes to Hespeler's village-like experience and should be maintained within the character area. The goal of the policies for additions within the Commercial Character Zone is to ensure the commercial streetwall is maintained.

POLICIES

- 1. Maintain and enhance the commercial street façade. New additions shall be constructed to the property lines of primary façades to maintain the commercial streetwall. Alleys shall be limited, maintaining existing locations and constructing a continuous façade where possible;**
- 2. Additions must be compatible with, distinguishable from, and subordinate to existing contributing properties within the commercial core. The design shall be inspired from contextual rhythms, scale, and massing and be visibly distinguishable from the heritage building and legible as a contemporary addition as not to create a false sense of history;**
- 3. If additional height is permitted to existing properties, ensure additions are setback from the primary façade;**
- 4. Additions or projections are not permitted on the Queen Street elevations.**

GUIDELINES

- a) Additions may be permitted to the rear of buildings not visible from Queen Street;
- b) Additions above existing buildings shall not read as original;
- c) Corner lots that include primary façades on two sides should maintain and enhance the heritage character of the area and continuous façade;
- d) Where possible, the use of notched corners may be explored to denote important intersections and provide additional public space at the street.

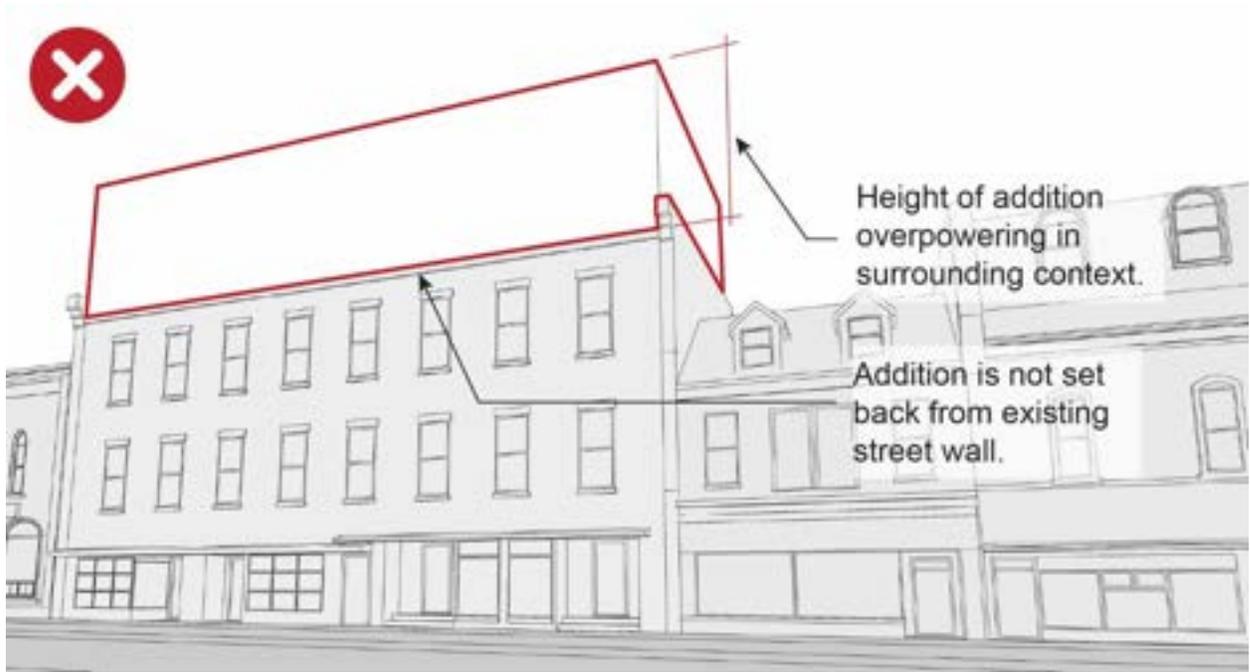


FIGURE 61 Incompatible height addition to contributing property in commercial core. The addition is not set back from the streetwall and is therefore overpowering in relation to its context. TRACE

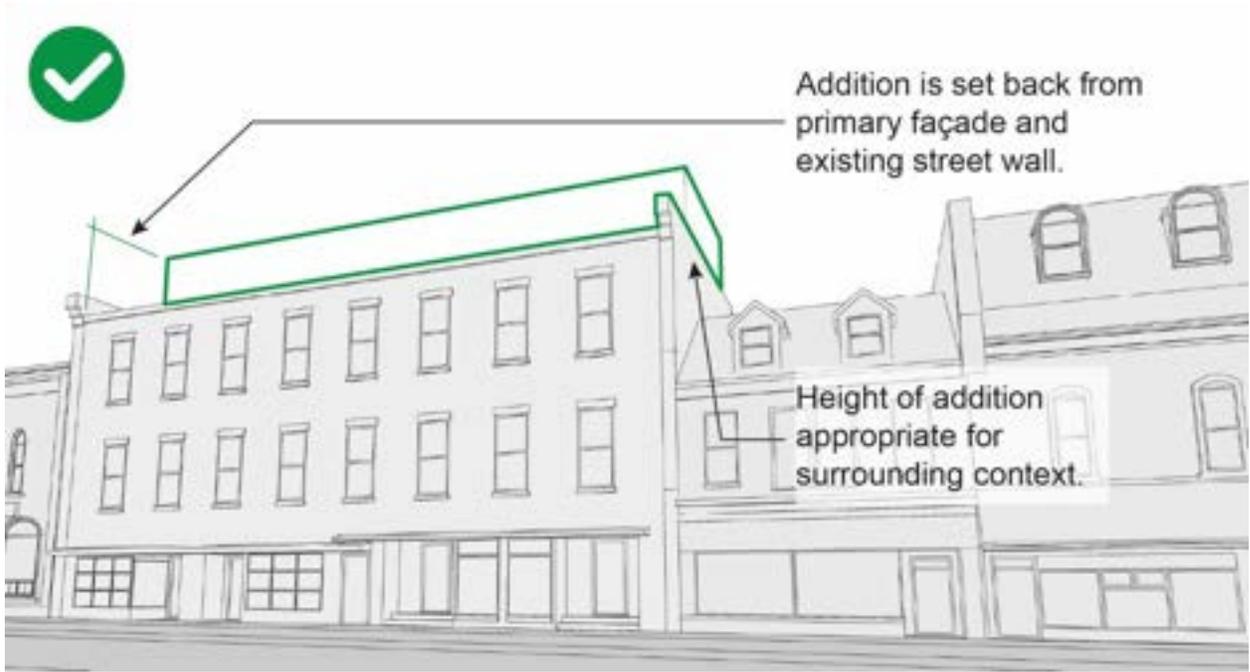


FIGURE 62 Compatible height addition to contributing property showing a setback from the street to maintain the 3-storey streetwall along Queen Street. TRACE

3.4.2.3 Exterior Cladding – Additions

The exterior cladding within the commercial core is predominantly made up of original materials such as stone and brick. Recent renovations and alterations have introduced more contemporary materials such as vinyl siding and stucco.

POLICIES

1. **Traditional and original cladding materials may be used for additions, provided they are legible as contemporary construction, as not to create a false sense of history;**
2. **Contemporary materials may be permitted if they do not damage existing heritage fabric and are visually compatible with the historic character of the existing building;**
3. **Physical breaks or ‘reveals’ shall clearly distinguish between original and new construction of additions;**
4. **Vinyl, aluminum siding and Exterior Insulation Finish Systems (EIFS) are not permitted on building facades facing the public realm, including corner properties.**

GUIDELINES

- a) The use of natural occurring materials such as brick, stone, and wood to clad additions is preferred. Avoid synthetic materials that mimic traditional finishes, as they can create a false sense of history;
- b) Use contemporary materials (e.g., metal, glass, or high-quality fibre cement) in ways that are sympathetic in scale, colour, and finish to surrounding heritage buildings;
- c) For corner properties, ensure both visible facades use compatible cladding materials, with consistent quality and detailing.

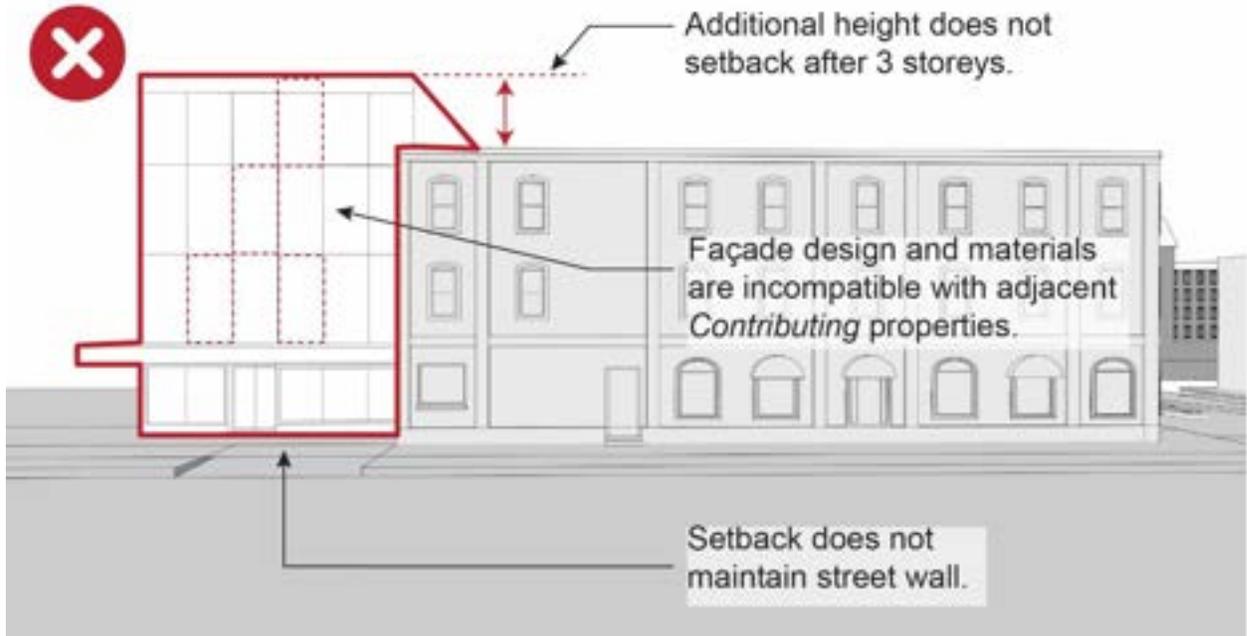


FIGURE 63 Graphic showing an incompatible addition to a contributing commercial property. The height disrupts the 3-storey commercial streetwall and the façade design and material palette are incompatible with its adjacent property. TRACE



FIGURE 64 Illustration of a compatible addition to a property. The commercial streetwall is maintained and the design of the addition recalls the historical elevation rhythm in a contemporary design. TRACE

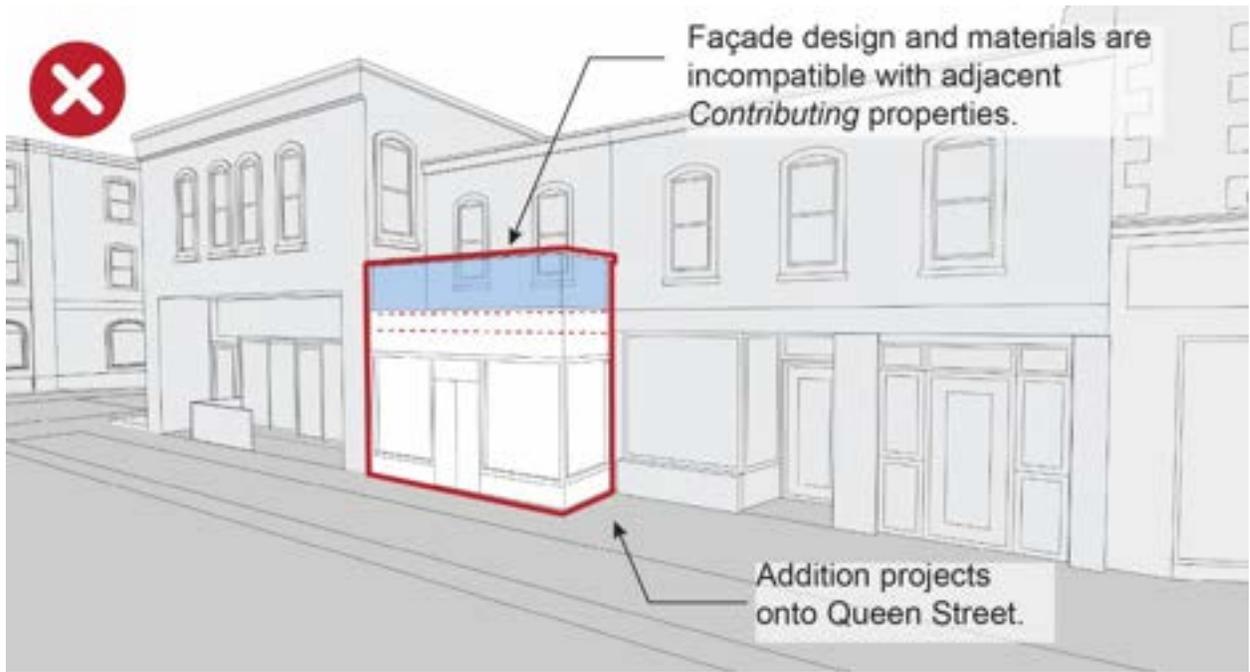


FIGURE 65 Graphic illustrating a front addition to a contributing commercial property that does not follow the policies and guidelines. The addition projects onto the main street and the materials and form obscure the property’s elevation. TRACE

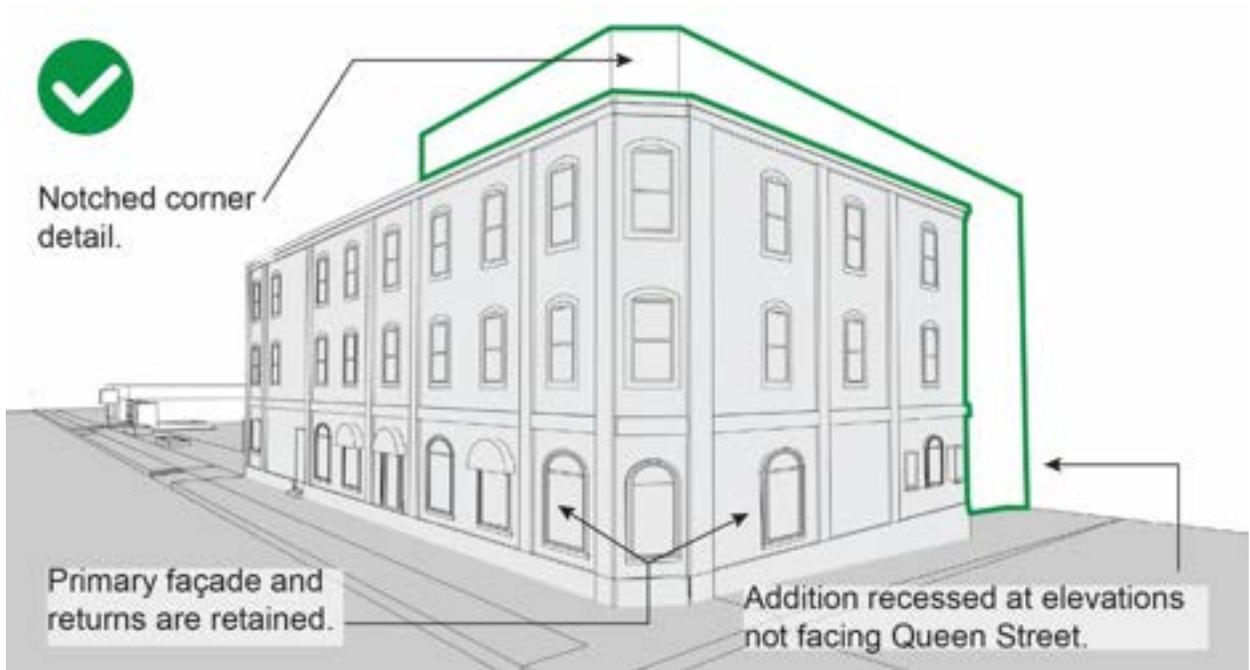


FIGURE 66 Example of a compatible addition to a corner contributing property within the commercial sub-area. The returns and primary façades are retained. The addition is set back from the primary elevations and maintains the building’s *three-dimensional integrity*. TRACE

3.4.2.4 Roof Additions

Roofs within the commercial core are predominantly flat and mansard roofs. The existing mansard roofs are an original feature that illustrate a particular era of construction. More economical forms of roofs such as flat roofs developed thereafter and are more common with younger properties.

POLICIES

1. **The pattern of mansard and flat roofs should continue to be used in future construction. Original roof lines, which are characteristic of a property shall be maintained and conserved;**
2. **New construction may draw inspiration from traditional roof forms, such as mansards, but must be designed in a contemporary manner that avoids creating a false sense of history;**
3. **Additions shall not alter the original roof type or construction. Flat roofs shall remain as flat and mansard roofs as mansard;**
4. **Roof additions must not obscure or damage heritage roof forms or decorative features;**
5. **Additions to roofs shall not impact existing decorative elements such as corbels, cornices, and brackets. Original decorative brickwork, stonework, and woodwork shall be conserved.**

GUIDELINES

- a) Incorporate new dormers within mansard roofs only if they are consistent in scale and symmetrically aligned with the façade;
- b) Contemporary reinterpretations of traditional features (e.g., modern cornices or corbels) are encouraged, especially where they provide practical functions such as water and precipitation management.
- c) Ensure new roof construction or additions are visually compatible in form and proportion with adjacent heritage buildings, without imitating historic detailing;
- d) Rooftop mechanical equipment shall be screened from street view wherever possible. Screens should be placed as far back from the street as feasible and use natural or natural-appearing materials (e.g., wood, high-quality composites). Materials such as vinyl or corrugated metal are not permitted.

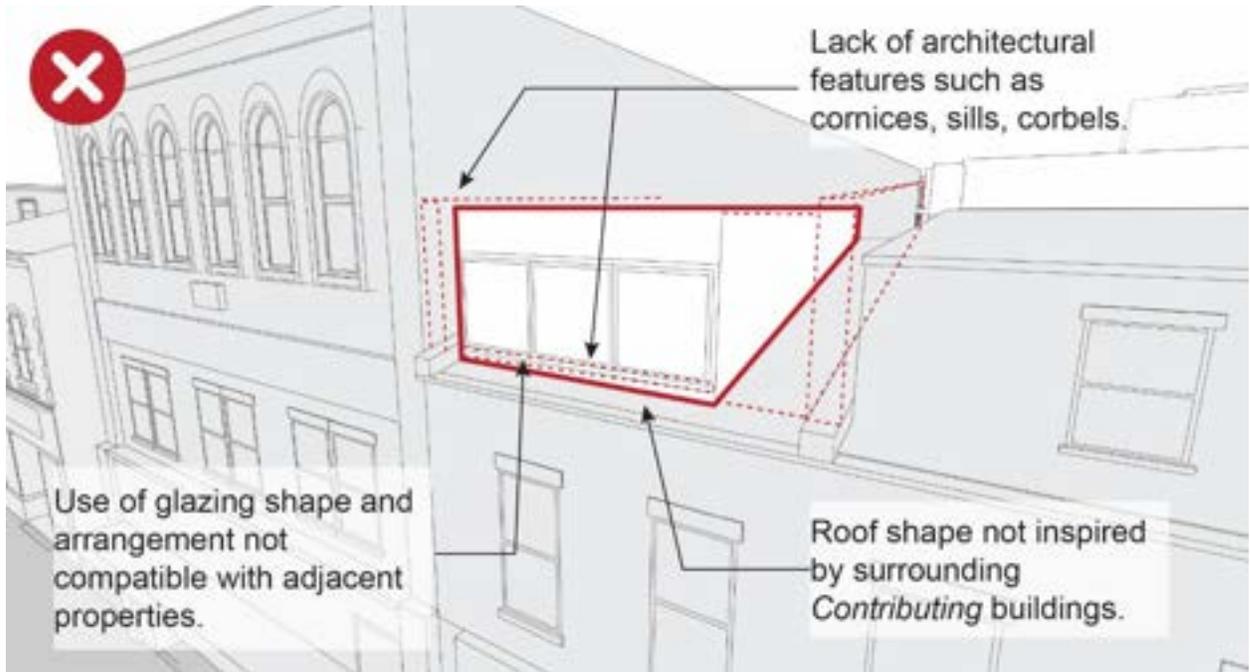


FIGURE 67 Graphic of an addition to a *contributing* commercial property that does not meet the guidelines due to the roof shape, glazing/opening locations, and lack of architectural details. TRACE

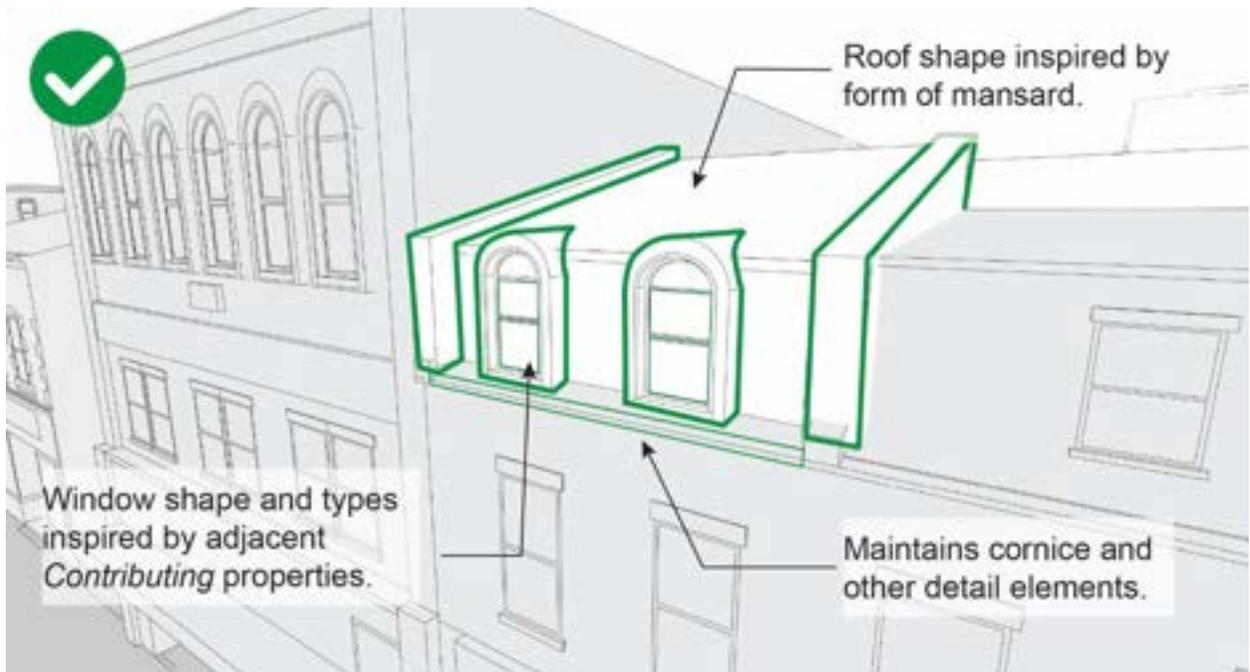


FIGURE 68 Graphic illustrating a good example of a roof addition that maintains architectural elements and inspires from adjacent *contributing* properties. TRACE

3.4.2.5 Window and Door Opening Additions

Existing window and door openings contribute to a recognizable rhythm within the commercial core. Their locations communicate building height and use, such as private (residential) and public (commercial).

POLICIES

1. The basis of design for all commercial buildings shall be glazed commercial storefront at grade with limited openings for the second and third storeys;
2. The designs of additions shall inspire from contextual historic precedents and photographs where available;
3. Windows and doors shall be constructed with original materials that are found within the commercial core. Contemporary materials are permitted provided that they do not negatively impact the character of the building and area;
4. Where additional stairs or means of egress are required to upper storeys, shall be constructed on secondary elevations or at the rear, whichever is less obtrusive.

FIGURE 69 Image showing a contributing property that has been altered, with three new window openings at the second storey, as opposed to two. This alteration is in keeping with the rhythm of openings in the adjacent contributing property. TRACE



3.4.3 New Construction – General Commercial

The character area has seen modern-era construction from the later half of the 20th century to more recent residential construction. Generally, construction has maintained the three-storey frontage along Queen Street.

POLICIES

1. **New construction shall reflect historic and contextual precedents, including established patterns of scale, rhythm, and materials within the District. New buildings must contribute to a cohesive streetscape and respect the character-defining elements of the area;**
2. **New construction on contributing properties along Queen Street shall maintain a streetwall height of no more than two to three storeys, consistent with the prevailing historical form;**
3. **Any additional storeys beyond this height must be stepped back from the primary façade to reduce their visual impact and maintain the heritage character of the streetscape. The degree of stepback and overall building height will be evaluated through a CHIA as part of the permit process;**
4. **New development shall contribute to public realm improvements, such as greenery, seating, or other furnishings that support walkability, accessibility, and overall streetscape enhancement;**
5. **Blank façades that interface with the street are not permitted. This includes corner lots.**

GUIDELINES

- a) Major intersections shall be denoted by rounded or notched corners in buildings;
- b) Windows and doors shall use similar proportions or scale for windows and doors as the historic pattern;
- c) Use of cladding materials found in the District, such as stone, wood, metal, and glass, is preferred;
- d) For commercial buildings, new construction should maintain a commercial use at grade, with visible glazed storefront between 80% and 85% of the ground floor elevation.

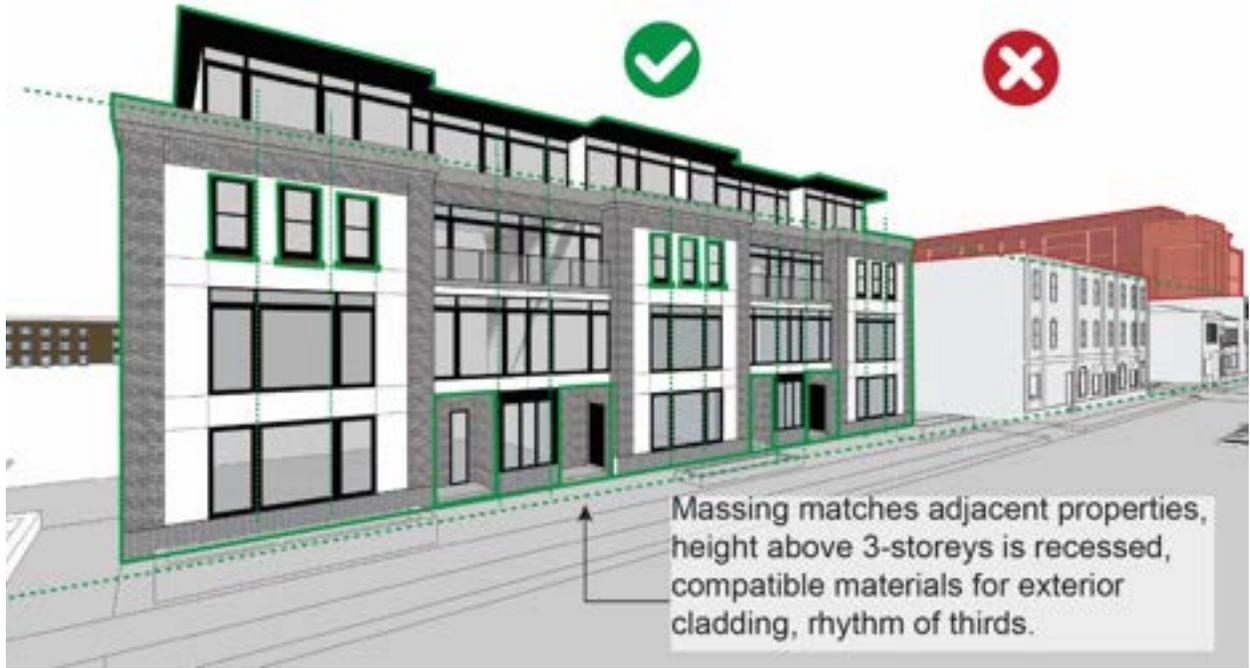


FIGURE 70 Example of new construction within the Commercial Sub-Area of the District. This example maintains the scale, presence, materiality, and rhythm of the adjacent contributing properties. TRACE



FIGURE 71 Materials found in the Commercial Sub-Area of the District include stone, brick, wood, and plaster. TRACE

3.4.4 Landscape, Trees and Vegetation – General Commercial

The balance of hard and soft scape includes a line of planted trees within sidewalks, potted seasonal plantings, subtle changes in paving to delineate space, and the use of the sidewalks by commerce for patios and seating. These character elements break up the street and encourage public interaction. Generous setbacks with plantings and park areas are located at institutional buildings and can be found in **3.4.7 – Specific Guidelines for Institutional Buildings**. Specific Guidelines for larger parks, Urban Greens and Urban Squares within the commercial core can be found in Public Realm **3.4.5 – Public Realm**

POLICY

1. **Preserve existing mature trees. Plant new trees to line sidewalk and within new parkettes.**

GUIDELINES

- a) Opportunities to connect greenspaces are encouraged, using plantings, hanging planters, lined trees, and shrubbery, provided they do not impact heritage fabric;
- b) Commercial properties that have side patios or parks should consider the use of non-asphaltic materials, such as pavers, to delineate from the sidewalk;
- c) Public space should be prioritized where possible, including rest areas with seating;
- d) Use concealed and underground services where possible;
- e) Prioritize enhancements to landscape that animate the streetscape such as:
 - i. Favour site furnishings that compliment the industrial and historic character areas;
 - ii. Consistent lighting fixtures;
 - iii. Bicycle parking.



FIGURE 72 Image of an example of greenspace at Ellacott Lookout within the Commercial Sub-Area, which includes a series of parks and gardens. TRACE



FIGURE 73 Example of existing landscaping features within the Commercial Sub-Area. The use of new pavers delineates the landscaped area from the street. TRACE

3.4.5 Public Realm

The commercial core includes various parks, parkettes and riverfront properties that communicate the natural heritage of the village of Hespeler and its connection to the Speed River. Building on the policies for landscaping, trees, and vegetation the public realm encapsulates spaces for public use, including small parkettes, the streets, and other areas that break up an otherwise continuous commercial streetwall, offering public space and gardens.

POLICIES

1. **Existing Parks, specifically Forbes Park, and parkettes shall be maintained as publicly accessible and provide plantings, seating, and/or shelters;**
2. **Public Realm improvements relating to the introduction of new trees, furniture, lighting, and paving shall reinforce and enhance the cultural heritage values and heritage attributes of the District;**
3. **Pseudo-historic features such as furnishings, landscaping treatments, and fixtures shall not be included in the public realm. This may include lighting, benches, tree grates, tree guards, trash and recycling receptacles, parking equipment, or other. Unobstructive and simple fixtures and features shall be selected.**

GUIDELINES

- a) Encourage the use of public art and wayfinding that promotes cultural heritage interpretation;
- b) Favour flexible landscape enhancements that promote the Commercial Core's role in public festivals and as the spine of cultural events.

3.4.5.1 Ancillary Buildings and Structures

Limited new ancillary buildings and features within the Commercial Character Zone, associated parks, and public spaces may be required in order to support municipal and recreational services. This may include, but not limited to, new recreational buildings and ancillary buildings, surface parking, as well as other features, including picnic areas, benches, shelters, and washrooms.

POLICIES

1. **Ancillary buildings and structures shall be modest in scale, clearly subordinate to adjacent heritage buildings and compatible with the surrounding character;**
2. **Designs should be contemporary yet respectful, using forms, materials, and colours that complement the District's palette and avoid false historical appearances;**
3. **Locate new features to minimize visual impact on key heritage views, principal façades, or landmark buildings;**
4. **New or expanded surface parking areas must be located to the rear or side of heritage buildings and screened from view using landscaping or fencing.**

GUIDELINES

1. Preferred materials include wood, natural stone, brick, or painted metal. Synthetic or highly reflective finishes are discouraged;
2. Rooflines should be simple and low-profile, such as gabled or shed forms, to reduce visibility and massing;
3. Avoid placement that disrupts historic sightlines, open space patterns, or circulation routes;
4. Incorporate landscape screening, natural vegetation, or fencing (as appropriate) to visually integrate new features with their surroundings;
5. Paving materials should be compatible with the historic setting (e.g., scored concrete, brick pavers, or permeable materials).

3.4.6 Parking – General Commercial

Existing street parking lines the commercial downtown core on the south side of the street. The limited parking favours pedestrian foot traffic and contributes to the village character of the area.

POLICIES

1. **New surface parking shall be scaled and designed and screened from view to minimize the visibility from the main street. Priority should be given to parking located in rear yards away from the street’s edge;**
2. **Above-ground parking shall be well-integrated into developments and lined with street level commercial and residential uses to diminish the negative impacts on the public realm and cultural heritage values of the District;**
3. **Entrances to parking garages shall not be immediately located on the main street and shall make use of the rear lots and existing alleys.**

GUIDELINES

- a) Where new development provides an at-grade or above-grade parking structure, the parking shall not be visible from the public realm;
- b) New development shall screen parking with active uses, fenestration design, or materiality that enhances the streetscape and does not detract from the public realm;
- c) Blank façades screening aboveground parking structures, especially when facing a mainstreet or public realm shall be avoided;
- d) Surface parking, loading areas, as well as utility equipment such as utility boxes, waste storage, air conditioning compressors, utility meters, and transformers shall be out of view of the public realm to minimize visibility from the street;
- e) Parking in side-lots is discouraged.



FIGURE 74 Surface parking row along mainstreet should be prioritized over any large surface parking lots. TRACE



FIGURE 75 Image showing surface parking in side lots, which is not preferred. Additional design features and landscaping can help buffer parking visibility from the street. TRACE

3.4.7 Specific Guidelines for Institutional Buildings

Uniquely distinct institutional buildings are found within the commercial core, including churches and civic buildings. These building typologies contribute greatly to the heritage character of the area as a downtown core. Policies and Guidelines for the whole District apply to Institutional Buildings, outlined in Section 3.2. of this document. The following policies apply to both contributing and non-contributing institutional buildings.

Policies and guidelines relative to views of institutional buildings are outlined in **Section 0 Views**

POLICIES

- 1. Preserve existing contributing institutional buildings, including their grounds and character-defining elements. Maintain and repair distinctive architectural elements, such as stained glass windows, masonry, woodwork, and steeples, using traditional methods and materials whenever possible;**
- 2. Maintain and conserve existing church spires as they contribute greatly to the visibility of the commercial core from other areas of the District;**
- 3. New buildings on church or institutional properties should respect the existing architectural character, massing, and setbacks of the HCD.**

GUIDELINES

- a) Support the continued use of institutional buildings for their original purposes but allow adaptive reuse when necessary, ensuring new functions respect the building's heritage character;
- b) Encourage maintenance and repair programmes to institutional buildings to ensure long-term survivability and mitigate large and overdue restoration projects.



FIGURE 76 Institutional buildings such as churches, libraries, and others are found within the commercial character area. The image shows one of the repurposed churches, now the Radhasoami Satsang Religious centre. TRACE



FIGURE 77 St Andrew's Presbyterian Church along Queen Street East, with the former post office and former Fashion History Museum at the right. TRACE

3.5 Natural Character Zone

The Hespeler HCD encompasses a substantial portion of natural landscapes, riverfront areas, parks, and recreational spaces, collaboratively managed by the City of Cambridge and the Grand River Conservation Authority (GRCA). Many of these lands, including former industrial sites, are vacant and have become naturalized. These areas hold significant cultural and historical connections to the HCD, reflecting the historic use of the landscape by both Indigenous and Euro-Canadian communities. This also includes the development of the Speed River for waterpower in the 19th century, which played a pivotal role in transforming Hespeler into a village. Preserving and enhancing these spaces is essential to maintaining the District's character, historical significance, and distinctive sense of place.

Heritage Attributes include:

- The Speed River, a place of longstanding importance to Indigenous peoples, later harnessed by colonial settlers for industry, and today continuing to shape the town's natural setting and recreational landscape;
- Hespeler Mill Pond, which offers scenic vistas and retains its historical significance related to the town's industrial past;
- Chilligo Conservation Area, an important natural space that contributes to the District's biodiversity and public recreational use;
- Public shoreline areas such as Jacob's Landing and the Ellacott Lookout, which provide access to the river and reflect the community's ongoing relationship with its natural environment;
- Mature trees and native plant species that line the riverbanks and pond, enhancing the area's natural heritage and scenic beauty;
- Walking trails and lookouts that allow for public engagement with the natural features and views of the water, maintaining the town's connection to its natural heritage.



FIGURE 78 District Map showing Natural Heritage Sub-Area.

3.5.1 Landscape Conservation

Naturalized vegetation is an important contributor to the character of the Speed River Valley and the active and passive recreational uses that take place. Vegetation within the area shall be retained in order to maintain the character of the HCD.

POLICY

1. **Significant landscape features such as trees on contributing properties that support the cultural heritage value of the District and are visible from the public realm should be conserved.**

GUIDELINES

- a) New vegetation should be planted in such locations that it will not obstruct important views of the River, where available and publicly accessible;
- b) New plantings within the Speed River Valley lands should be contextually appropriate species, such as those found within the wider Cambridge area, non-invasive and are appropriate with the existing vegetative character, in accordance with Cambridge's Forestry Department and the GRCA.



FIGURE 79 Natural heritage landscape as seen from Jacob's Landing. TRACE



FIGURE 80 The banks of the Speed River include mature trees and naturalized landscapes. TRACE

3.5.2 Trees

Mature trees take decades to grow and offer substantial ecological, aesthetic, and health benefits. Their protection is essential. Removal of mature trees should be a last resort and only considered in cases where the tree poses a significant risk to health and safety, is in poor condition, or where roots are causing structural damage to nearby buildings. To support a continuous and sustainable tree canopy, where removal is necessary, replacement planting and long-term planning for additional trees on both public and private lands, is strongly encouraged. Planting a mix of species and ages improves habitat diversity, enhances visual interest, and builds resilience against pests, disease, drought, and climate change.

POLICIES

1. **Retain and protect mature trees;**
2. **Replanting within the Speed River Valley area shall adhere to the direction provided in the City’s Official Plan. This document identifies that the intent is to improve the species diversity in order to ensure the urban forest is more resilient to climate change and other stressors;**
3. **Introduce new tree plantings within landscaped and natural areas that serve as public gathering spaces, in accordance with the direction of Cambridge’s Forestry Department and the GRCA.**

GUIDELINES

- a) Prioritize non-destructive interventions, such as pruning, to address visibility or safety concerns without full removal;
- b) Prioritize plantings along the Speed River and at public access points, to enhance shade, comfort, and ecological value;
- c) The City By-Law regarding Trees on Public Property should be utilized for the management and permitting system for the removal, maintenance, and re-planting of trees within the HCD boundary.

3.5.3 Views

Key views have been identified in the Hespeler HCD. These views are located predominantly along the Speed River and are considered attributes of the District. **Please see Whole District Policy 3.2.6.**

3.5.4 Parks, Trails, and Greenspace

The natural heritage character area in Hespeler contains several municipally owned Speed River edge trails, parks, and greenspaces. These include:

- Little Riverside Park;
- Ellacott Lookout;
- Jacob’s Landing;
- Mill Run Trail.

Municipal parks and open spaces form an essential part of Hespeler’s natural heritage landscape. Predominantly naturalized and publicly owned, these areas hold deep cultural and historical significance for both Indigenous and Euro-Canadian communities. Their vegetated character remains a defining feature of the Hespeler HCD, contributing to its visual identity and sense of place. Preserving and enhancing these natural features is critical to maintaining the District’s heritage character and integrity.

POLICIES

- 1. River-edge parks, public squares, and open spaces that reflect the cultural heritage values of the Hespeler HCD shall be conserved;**
- 2. New development adjacent to these spaces must demonstrate compatibility with their character and with protected views;**
- 3. The significance and interconnection of river-edge parks, public squares, and open spaces should be interpreted on-site.**

GUIDELINES

- a) Changes to parks, trails, and open spaces should respect their historical and community significance, as outlined in this Plan. Design interventions should enhance the setting and heritage character, conserving attributes such as circulation patterns, visual relationships, vegetation, and built features, including remnants, structures, walkways, plaques, fencing, benches, and seating;
- b) Interpretive elements, such as signage, plaques, or installations, should be integrated into public realm projects to highlight a site’s cultural heritage value and reinforce its visual, functional, or historical links to other locations within the District, consistent with the SCHV.

3.5.5 Ancillary Buildings and Structures

The properties in the natural heritage character area do not contain any structure, save for municipal or GRCA storage areas. Limited new ancillary buildings and features within the Speed River Valley and associated parks and recreational landscape uses may be required in order to support recreational uses within the Speed River and valley lands character area. This may include, but is not limited to, new recreational and ancillary buildings, surface parking, as well as other features, including picnic areas and benches, shelters, and washrooms.

Please refer to Policies and Guidelines for Ancillary Buildings and Structures in Section 3.3.8.

3.6 Industrial Character Zone

The industrial areas of Hespeler, particularly along Milling Road and Guelph Avenue, reflect the town's long history of manufacturing and industry, particularly in the textile sector. These areas were the economic engine of Hespeler, providing jobs and fostering the town's growth. The District's industrial buildings contribute to an understanding of its historic function and use as a manufacturing area. Many have multiple façades that are visible from the public realm and express the building's historic function and use. Many of the original mills and factories are still present, with some repurposed for modern use, while retaining their heritage character. The proximity to the Speed River was crucial for industrial operations, further tying the natural landscape to the town's economic past.

Heritage Attributes include:

- Surviving industrial buildings, particularly along Milling Road and Guelph Avenue, such as the Forbes Textile Mill;
- The physical relationship between industrial buildings, former industrial properties, and the Speed River, highlighting the historical importance of the river in supporting local industries;
- The adaptive reuse of former industrial buildings, which maintains their external heritage while introducing new functions;
- Architectural details typical of industrial structures from the late 19th to mid-20th centuries, including brick façades, large windows, and original signage;
- The industrial street layout, which includes direct access to the river and railway lines, reflecting Hespeler's role as a transportation and manufacturing hub.



FIGURE 81 District Map showing Former Industrial Lands Sub-Area.

3.6.1 Repairs and Alterations and Additions

Within the Hespeler HCD, former industrial buildings play a vital role in shaping the area's character and offer significant opportunities for adaptive reuse. Industrial buildings by nature provide generous proportions, high ceilings, open floor plans, and large windows, making them well-suited for a range of new uses, including residential, commercial, and cultural spaces. These buildings are often constructed with durable materials and craftsmanship that lend themselves to long-term sustainability, reducing the need for extensive demolition and minimizing environmental impact. Preserving the heritage character of these industrial structures is essential to maintaining the District's historical integrity and sense of place.

POLICIES

- 1. Adaptive reuse shall prioritize the retention of key architectural features, such as original façades, structural elements, and material finishes, while allowing for sensitive modifications that accommodate contemporary needs;**
- 2. New interventions shall be designed to complement rather than obscure the industrial legacy existing buildings, ensuring that their historical significance remains a defining characteristic of the District;**
- 3. contributing properties shall be maintained to ensure the conservation of the integrity of the industrial area's cultural heritage value and attributes.**

GUIDELINES

- a) The restoration of contributing properties shall be based on thorough historical documentation of the built form, materials, and details from the period to which it is being restored;
- b) When undertaking restoration on a contributing property, building features from the period to which a building is being restored that have been removed or damaged should be re-instated;
- c) Restore where possible deteriorated original features or heritage attributes based upon thorough supporting historic research;
- d) Repair rather than replace damaged or deteriorated heritage attributes;
- e) Where the heritage attributes of a contributing property are deteriorated beyond repair, ensure replacements are in-kind, conserving the composition, materials, size, finishes, patterns, detailing, tooling, colours, and features.

3.6.1.1 Massing – Additions

Massing refers to the overall form and volume of a building and its spatial relationship to the surrounding context, particularly as it relates to adjacent buildings, the streetscape, and significant views within the public realm. In the Hespeler HCD, massing plays a critical role in shaping the historic character of the industrial core and the broader relationship between built form and the adjacent natural heritage features, including the Speed River and its wooded banks.

The massing of contributing industrial buildings within the District reflects the historic evolution of manufacturing and warehouse functions, often expressed in robust, utilitarian forms built near the river. This close spatial relationship between the built and natural environments is a key character-defining element and must be retained and conserved.

POLICIES

1. **Additions or alterations to contributing properties shall maintain the established setback from the Speed River and surrounding natural features, preserving the historic interface between industry and landscape, if floodplain regulations permit;**
2. **New additions or extensions to contributing properties shall respect the existing height, scale, and form of the original building. Any new massing introduced shall not overpower or obscure the heritage fabric;**
3. **Where additional height is considered for functional or adaptive reuse purposes, the visual integrity of the contributing property and its relationship to key views and adjacent heritage features is not to be compromised;**
4. **Roof designs for additions or alterations shall be compatible with the existing building form and shall not obscure or detract from defining architectural features such as towers, gables, or smokestacks. Alterations that would diminish the visual prominence or silhouette of these elements are not supported.**

GUIDELINE

- a) Additions should incorporate a clear base, middle, and top, drawing design cues from the existing structure's rooflines, cornices, and foundational elements.

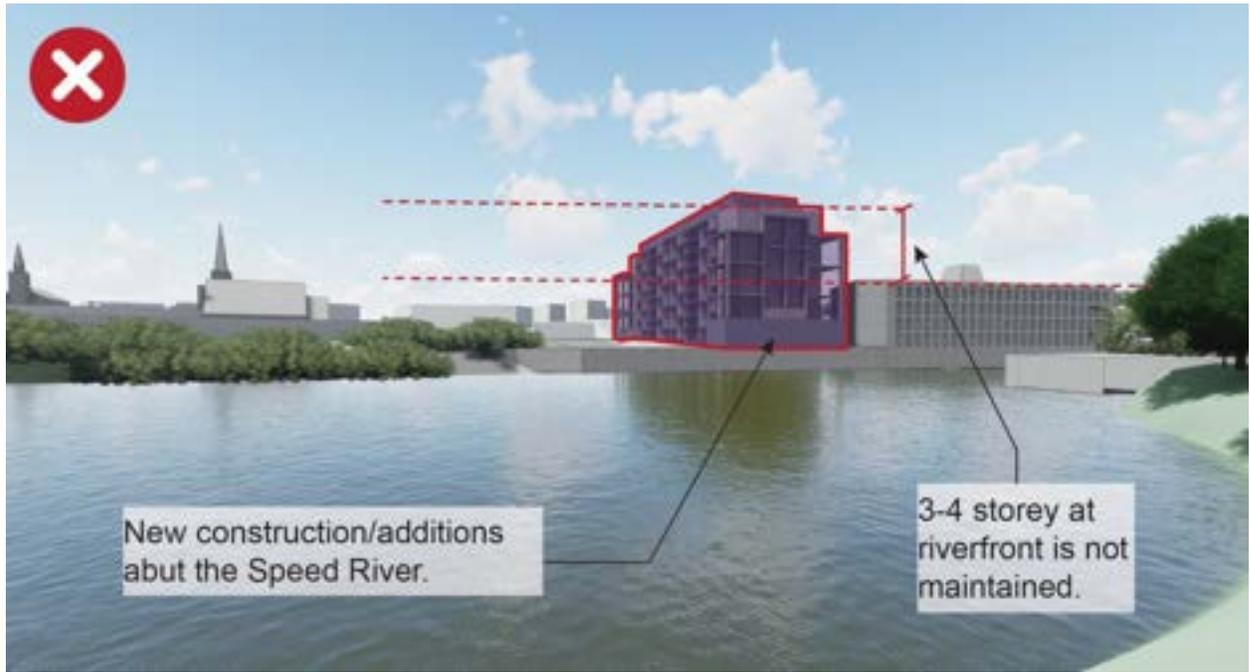


FIGURE 82 An example of an existing development that would not meet the policies and guidelines. TRACE

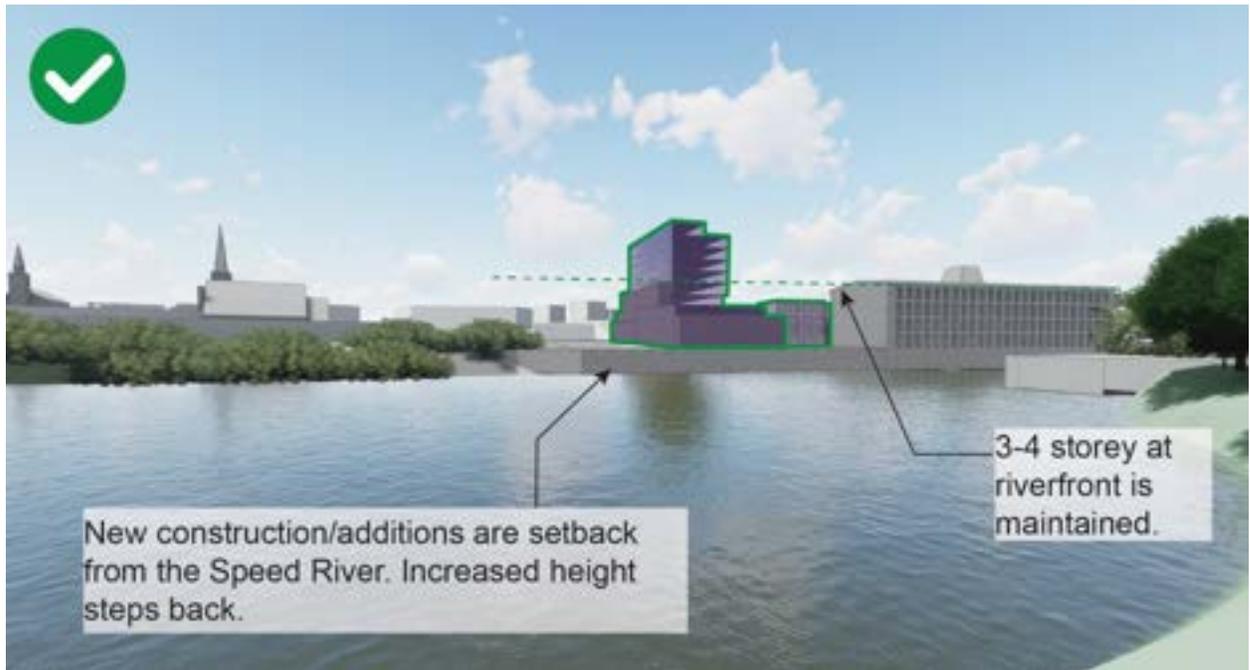


FIGURE 83 An alternative example of a development that would meet the policies and guidelines. The mass and scale of the development is subordinate to the contributing industrial properties. TRACE

3.6.1.2 Stepbacks – Additions

POLICIES

1. **Additions shall be stepped back from all façades facing a public street, or the Speed River, to preserve the prominence of the heritage building;**
2. **Side additions shall align with the streetwall height of the heritage building. Any height above the streetwall must step back from the façade. Stepback distances will be based on the design, scale, and massing of the proposed addition, the heritage property, and applicable policies;**
3. **Substantial side elevations visible from the public realm that retain original windows, materials, or architectural detailing shall be preserved in situ to maintain the three-dimensional integrity of the heritage building;**
4. **Vertical additions that extend above the ridge or flat roofline of a heritage industrial building must be set behind the original structure to limit visual impact.**

GUIDELINES

- a) A minimum stepback of 5 metres is recommended. Greater stepbacks may be required to conserve the heritage attributes of individually designated (Part IV) properties, as determined through a CHIA;
- b) The extent of required stepbacks shall demonstrate, through a CHIA, that the addition is visually compatible with, and distinguishable from the heritage building, when viewed from the public realm, and that impacts are appropriately mitigated;
- c) Conservation of visible side elevations may be achieved through solutions such as incorporating them into new development, stepping back side additions, or vertical stepbacks;
- d) For visible side walls lacking historic detailing (e.g., former party walls), alternate treatments may be considered;
- e) Where a stepback is proposed on a visible side elevation, its depth shall be determined based on the addition's scale and massing in relation to the heritage property and be visually compatible and clearly subordinate;
- f) If a visible side elevation is incorporated into new construction, use transparent or semi-transparent materials to maintain some visibility from the public realm;
- g) For additions or new development involving industrial heritage buildings, limited reconstruction of non-primary or rear elevations may be permitted where required for construction access;
- h) Projecting balconies or cantilevered elements should not be located above the primary structure of heritage residential buildings;
- i) Rear additions should generally be lower than the existing ridge height to maintain the original roof form and silhouette.

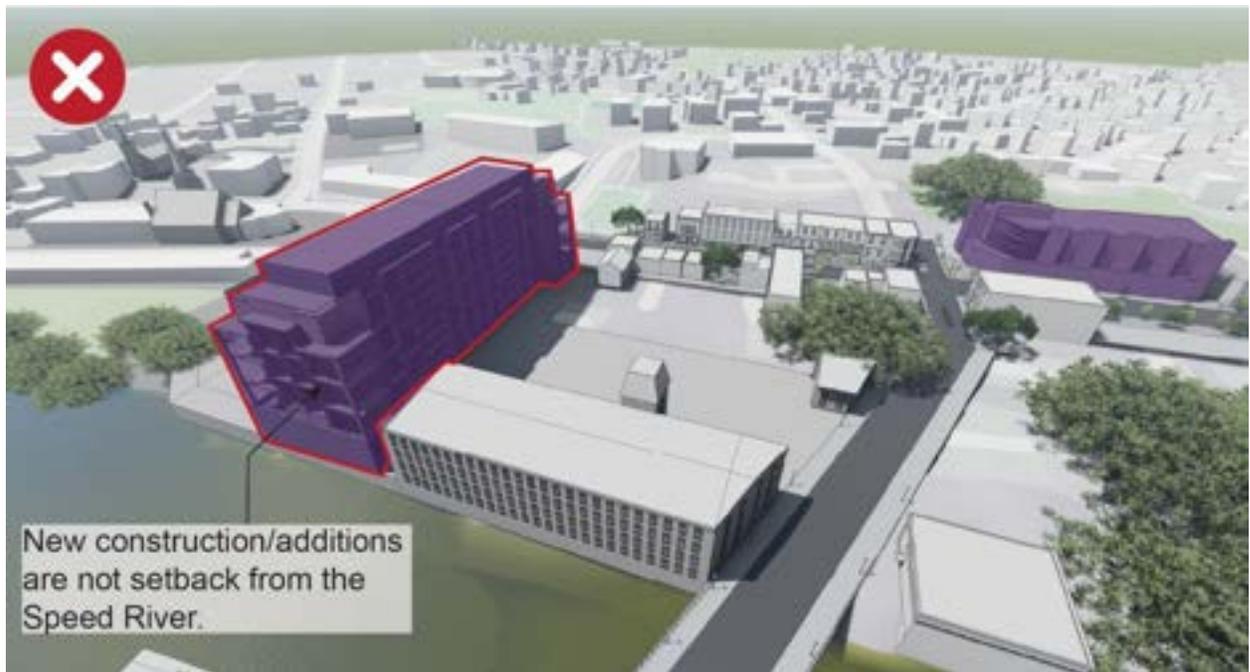


FIGURE 84 Bird's eye view of the current development south of the Speed River. This development would not meet the policies and guidelines, due to its massing and scale. TRACE

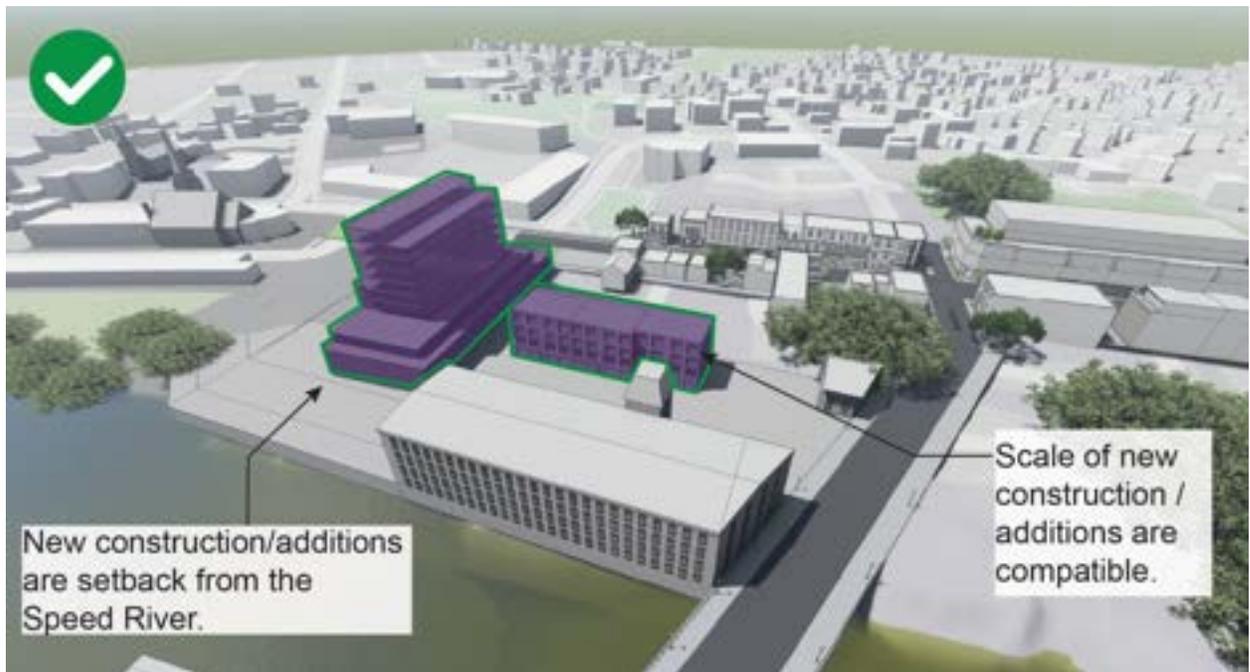


FIGURE 85 Bird's eye view of an alternative development that would meet the guidelines, with the high-rise set back from the Speed River and the preference for horizontal development. TRACE

3.6.1.3 Chimneys and Roofs – Repairs, Alterations, and Additions

Chimneys and rooflines are defining architectural elements in former industrial areas of Heritage Conservation Districts, contributing significantly to their historical character and sense of place. These features serve as visual reminders of a community’s industrial past, reflecting the scale, function, and evolution of historic manufacturing and mill buildings. Minor alterations may be permitted where appropriate, including features that increase building performance or life cycle.

POLICY

1. Original or restored roof form and profile of contributing properties shall be conserved.

GUIDELINES

- a) Original or restored features shall not be removed;
- b) Repair rather than replace original or restored roof components;
- c) Replace original or restored architectural roof components only if they have deteriorated beyond repair;
- d) Chimneys and smokestacks as are an important character-defining element that contribute to the industrial area’s cultural heritage value and should be preserved;
- e) Conserve the original roof form and profiles of contributing properties, as viewed from the public realm.



FIGURE 86 Smokestacks are an important character-defining element and wayfinding cue that makes the industrial area recognizable from a distance.

3.6.1.4 Openings

Openings such as garage doors and large windows in former industrial buildings are architectural features reflecting the functional and historical significance of these structures. Originally designed for the movement of raw materials, machinery, and finished products, large openings like loading bay doors were essential to industrial operations. Their size and placement provide insight into the building's past uses, whether for manufacturing, warehousing, or transportation. Many of these openings also facilitated railway or loading dock connections, further reinforcing the site's industrial heritage. Industrial buildings often featured expansive multi-pane or steel-framed windows to maximize natural light for workspaces before electric lighting was widely available. These windows also helped with ventilation in factories and mills, contributing to the efficiency of production processes.

POLICIES

- 1. Retain and preserve existing openings. Original window openings shall not be covered or enclosed or altered in size;**
- 2. Retain and preserve existing architectural elements at openings, including jambs, sills, arches, voussoirs, keystones, and other architecturally significant brickwork or stonework.**

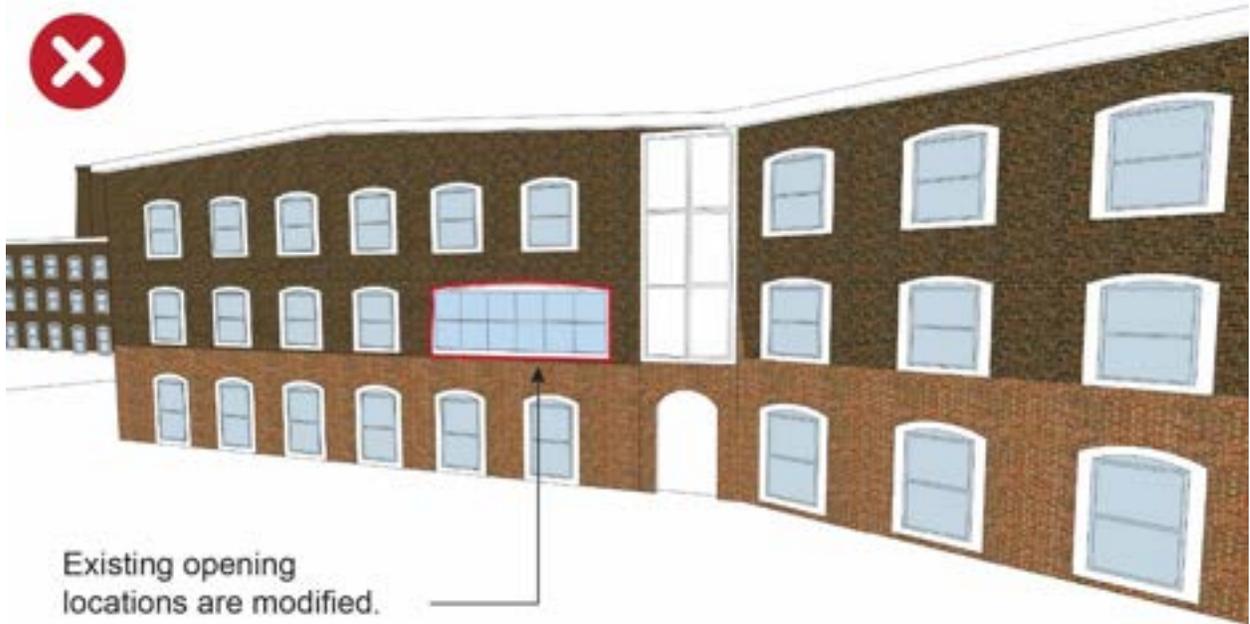


FIGURE 87 Example of poor changes to opening locations for contributing properties within the Former Industrial Sub-Area. TRACE

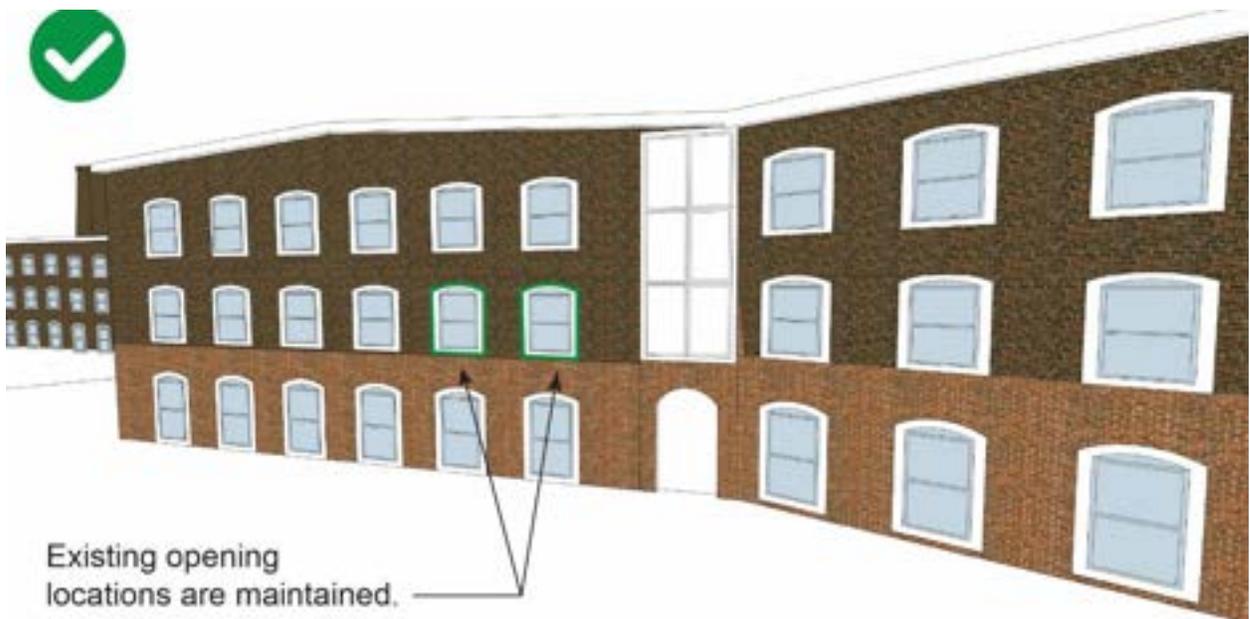


FIGURE 88 Example of implementing the guidelines and maintaining existing locations of openings within contributing properties. TRACE

3.6.2 New Development

All new development in the industrial character zone should read in conjunction with the Whole District Policies and Guidelines for New Construction **Section 3.2** of this plan.

POLICIES

- 1. New development shall respect and reinforce the cultural heritage value and character-defining elements of the industrial area;**
- 2. New development shall be designed to be compatible with the design, scale, form, and massing of adjacent contributing properties;**
- 3. Greater setbacks may be permitted to maintain or enhance views, create forecourts, or expand the public realm;**
- 4. In the absence of adjacent contributing properties, setbacks and streetwall heights shall follow Official Plan policies or zoning by-law requirements;**
- 5. Variations in height or massing must be justified and, where required, informed by a Cultural Heritage Impact Assessment (CHIA);**
- 6. New materials and finishes shall be physically and visually compatible with adjacent contributing properties;**
- 7. Roof forms, windows, doors, and other exterior elements shall respect the industrial character of the area;**
- 8. New development shall conserve views and access to adjacent contributing properties and consider enhancements to the public realm where appropriate.**

- a) Greater setbacks may be permitted where required to maintain or enhance views to contributing properties, to create forecourts, or to expand the public realm, as informed by a CHIA;
- b) Variations in streetwall heights may be permitted, informed by a CHIA, to respect the streetwall height of adjacent contributing properties and/or the immediate context;
- c) Use industrial-appropriate materials such as brick, concrete, or metal cladding;
- d) Avoid materials or finishes that create visual conflict with adjacent contributing properties;
- e) Roofs should reflect simple, functional industrial forms (e.g., flat or low-pitched);
- f) Roof features such as parapets or mechanical screening should not block views of adjacent properties;
- g) Maintain proportions and rhythms typical of contributing properties;
- h) Fenestration patterns and spacing should reflect the industrial character;
- i) Large industrial openings (doors, loading bays) may be integrated where functionally required, while maintaining overall compatibility;
- j) Facade articulation should be consistent with industrial heritage elements;
- k) Avoid excessive ornamentation; emphasize simple, functional detailing;
- l) Where setbacks allow, consider forecourts, pedestrian paths, or plazas to enhance public space while respecting heritage context.



FIGURE 89 Rendering showing compatible development massing within the north former industrial area. TRACE



FIGURE 90 Example of a development within the north industrial area that meets the policies and guidelines. The new development maintains a similar height as adjacent contributing properties. TRACE

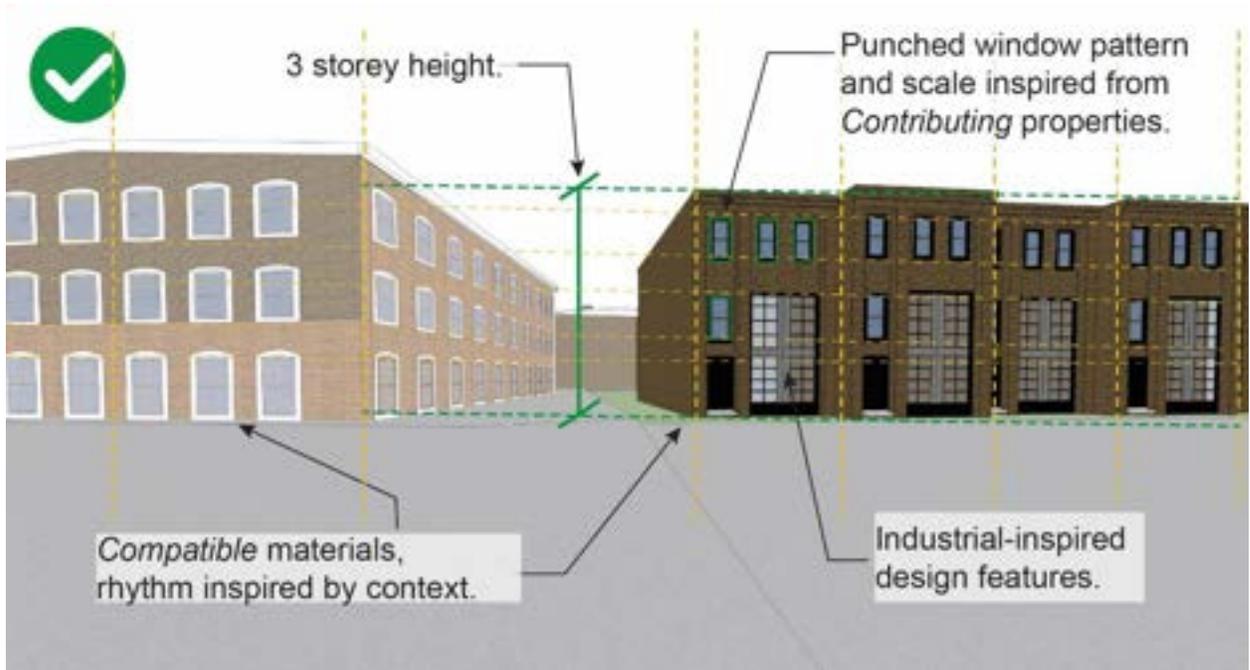


FIGURE 91 Graphic example of the design of compatible development within the Industrial Sub-Area. This example shows a 3-storey townhouse development within the District. TRACE

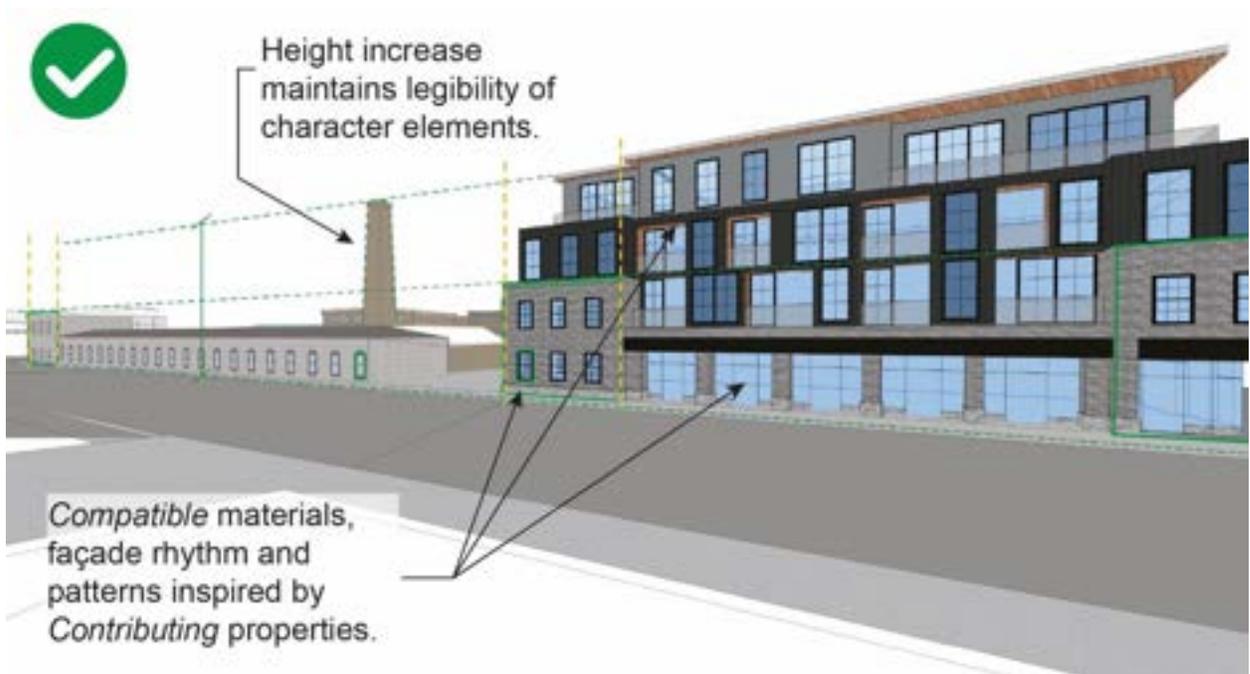


FIGURE 92 Graphic example of compatible development within the Industrial Sub-Area. The example draws from the rhythm, materials, and scale of the contributing Industrial Properties. TRACE

3.6.3 Former Industrial Infrastructure

This HCD acknowledges that the Speed River Valley area within the HCD boundary includes the remains of cultural heritage features associated with former mills and mill infrastructure. These features, at times, are underwater or are hidden from view. Where feasible, these features should remain part of the landscape and should be retained.

POLICY

1. Original or restored structural components for infrastructure shall be conserved.

GUIDELINE

- a) Promote interpretation of former industries at river, including dams and structures built to reach dams to encourage public interaction with water. This may be subject to GRCA consultation and/or approval.



FIGURE 93 Dams along the Speed River are part of the cultural heritage of the Former Industrial Sub-Area. Juxtaposed with the church steeples, the village-character of Hespeler and its layered history can be understood. TRACE

4 POLICIES AND GUIDELINES FOR NON-CONTRIBUTING PROPERTIES

4.1 Policies and Guidelines for Non-Contributing Residential Properties

Heritage Conservation Districts (HCDs) are designated areas recognized for their collective cultural heritage value. Within these districts, properties are categorized as either contributing or non-contributing to the district's overall heritage character. Contributing properties typically retain historical, architectural, or contextual significance, whereas non-contributing properties do not exhibit the same level of heritage value. However, non-contributing properties still play an essential role in maintaining the overall integrity and coherence of an HCD.

Non-contributing properties may include buildings that have been significantly altered, constructed outside the District's period of significance, or lack distinctive heritage features. While these properties do not directly contribute to the historical character of the Hespeler HCD they are still subject to specific guidelines and policies to ensure that any alterations, additions, or new developments respect and enhance the District's heritage attributes. The careful management of non-contributing properties is crucial in supporting the overall goals of the HCD,

ensuring that new interventions do not detract from the District’s cultural heritage while allowing for thoughtful evolution and adaptation over time.

Regardless of the class of a property, work on any property should be executed in a way that conserves or enhances the District’s historical character and identified heritage attributes.

An overview and definition of contributing vs Non-contributing properties is described in **Section 3.1.1. Contributing vs Non-Contributing Properties.**

This section outlines policies and guidelines related to change on other properties within the HCD. It is important for other properties to follow the applicable guidance, so that changes remain compatible with the District. Please see Figure 2 in **Section 3.1.1 for the map of Contributing and Non-Contributing Properties.** An index is also available in the Appendix.

4.1.1 Differentiating Policies and Guidelines

This section contains **policies (in bold)**, and guidelines (in regular type) intended to manage change within the District in order to meet the objectives of this Plan and to conserve the District’s cultural heritage value.

The **policies** set the direction for the management of the District in a clear and direct manner. The directions provided by the **policies** generally use either ‘shall’ or ‘should’ language and are to be interpreted accordingly. The guidelines provide suggested ways in which the Plan’s **policies** might be achieved. However, there may be other methods for satisfying related **policies**. Guidelines are useful directions on how to meet the **policies** of the Plan.

4.2 Whole District Policies

Whole District Policies apply to both contributing and non-contributing properties in the HCD. Please refer to Section 3.2 of this Plan for policies and guidelines pertaining to the District as a whole.

4.2.1 New Development – General

New construction is permitted in an HCD, and encouraged so long as development is designed to conserve and enhance the District’s heritage attributes. For vacant properties, whether contributing or non contributing, any new building should contribute to the overall character and sense of place of the District, and will be expected to respect and build upon the District’s cultural heritage value. Each project must therefore start with an understanding of the District’s cultural heritage value and heritage attributes.

For this reason, contributing and non-contributing project shall follow the policies and guidelines outlined in Section 3 for new development that pertains to the whole District, as well as the respective Character Zones in the HCD.

4.2.2 Additions and Alterations – General

POLICY

1. **Repairs, alternations and additions to non-contributing properties shall not negatively impact the District’s cultural heritage value and heritage attributes, including any adjacent contributing properties.**

GUIDELINE

- a) A heritage permit may be required for repairs, alterations and additions on non-contributing properties depending on the scope of the project. This will be at the discretion of the Heritage Planning staff.

4.3 Policies and Guidelines specific to Character Zones

4.3.1 Residential – Repairs and Alterations

POLICY

1. When repairs or alterations to buildings on non-contributing properties are proposed in the Residential Character Zone, or on residential properties in other Character Zones of the Hespeler HCD, the design will respect the District’s heritage character and ensure that repairs and alterations are successfully integrated with the existing building.

4.3.1.1 Roofs and Rooflines

GUIDELINES

- a) Roof types should be encouraged to complement nearby styles appropriate for the district and the streetscape. The pitch, orientation, and height of roofs should be compatible with adjacent contributing properties;
- b) Dormers or secondary roof elements may be introduced if they are modest in scale and do not dominate the principal roof form;
- c) Flat roofs are permitted for additions to existing multi-unit residential buildings, and new multi-unit residential buildings on other properties.

4.3.1.2 Exterior Walls

GUIDELINES

- a) The District includes a range of cladding materials. When choosing an appropriate cladding material for additions or alterations to other properties, exterior cladding materials should be visually compatible with adjacent contributing properties;
- b) Preferred materials include wood, brick, stone, or fibre-cement siding that replicates traditional textures. Synthetic materials such as vinyl or aluminum siding are strongly discouraged;
- c) Use of contemporary materials (such as metal panels) may be permitted where massing, rhythm, and proportions are compatible with the context.

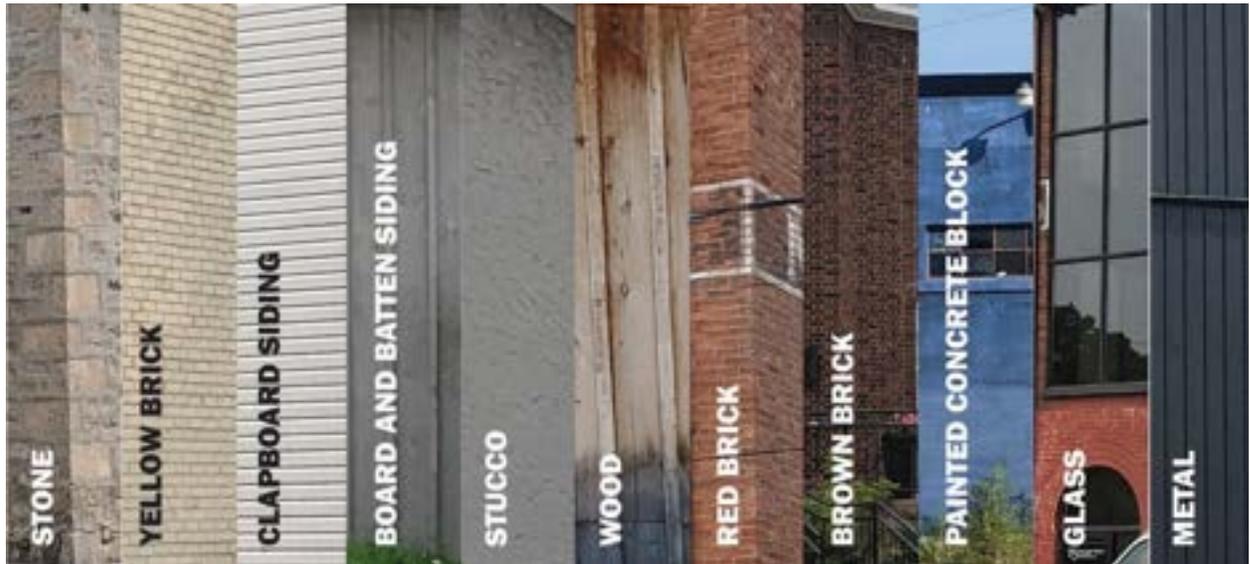


FIGURE 94 Material Palette demonstrating appropriate cladding materials. TRACE

4.3.1.3 Window and Door Openings

GUIDELINES

- a) Openings should not overwhelm the façade, particularly those visible from the public realm. Contemporary fenestration patterns may be acceptable on side and rear elevations, provided they do not disrupt the streetscape;
- b) Materials should reflect quality and permanence, wood, aluminum-clad wood, or high-quality fiberglass are preferable;
- c) Front doors should generally be oriented toward the street, and in line with adjacent properties, and reflect residential proportions.

4.3.1.4 Porches and verandahs

GUIDELINES

- a) Where porches or verandahs are characteristic of the streetscape, new development should include them in a compatible form and reflect typical proportions of adjacent properties, particularly contributing properties;
- b) Contemporary interpretations are encouraged over replication of historic styles;
- c) Enclosing porches with solid walls is discouraged, although glazed and screened enclosures may be considered if reversible and visually minimal.

4.3.2 Residential Additions

When repairs or alterations to buildings on non-contributing properties are proposed, the design will respect the District’s heritage character to ensure that the new addition is successfully integrated with the existing building. Residential Additions on non-contributing properties should follow applicable policies and guidelines for Addition Designs for contributing properties in Section 3.3.6.

4.3.3 Commercial – Repairs and Alterations

POLICIES

- 1. Alterations and repairs to non-contributing commercial properties shall be designed to complement the established character of the streetscape, with attention to storefront rhythm and scale;**
- 2. Contemporary materials and detailing are permitted, provided they are visually compatible and do not detract from adjacent contributing properties;**
- 3. Alterations shall reinforce the pedestrian-oriented character of the commercial streetscape through appropriate storefront design, signage, and entrances.**

GUIDELINE

- a) A heritage permit may be required for repairs, alterations and additions on non-contributing properties depending on the scope of the project. This will be at the discretion of the Heritage Planning staff.

4.3.3.1 Storefronts and Street Façade Alterations

POLICIES

1. **The continuous streetwall shall be maintained. New storefront divisions (for example: bulkheads, display windows, transoms, entry recesses, etc.) shall reflect the traditional rhythm and vertical proportions found on adjacent contributing properties;**
2. **Ensure storefronts present a clear commercial presence at grade;**
3. **Blank walls, reflective or mirrored glazing on primary façades are not permitted.**

GUIDELINES

- a) Storefronts should maintain a high degree of transparency at street level to reinforce the pedestrian focus of the district;
- b) Materials should be compatible with those historically used in the district (brick, stone, wood, glass), though contemporary finishes may be considered if they are durable and visually restrained;
- c) Examine and carefully remove contemporary storefront fabric to determine whether or not original, or earlier heritage fabric can be revealed underneath. This fabric may be available for rehabilitation;
- d) Existing storefronts may be restored to an earlier period or style provided restoration is based upon historical documentation.

4.3.3.2 Commercial Roof Alterations and Repairs

GUIDELINES

- a) Roof forms should align with the general pattern in the district and adjacent properties. Parapets, cornices, and rooflines should be maintained or interpreted in a manner that continues the horizontal rhythm of the streetwall;
- b) Mechanical equipment should be set back from roof edges and screened to minimize visibility from the public realm;
- c) Contemporary green roofs or solar installations are acceptable where they are not visible from key public views.

4.3.3.3 Commercial Window Alterations and Repairs

POLICY

1. Alterations that include oversized, irregular, or window formats that break the established rhythm of the commercial street wall are not permitted.

GUIDELINES

- a) Upper-storey windows should retain a vertical orientation and be proportionally consistent with adjacent contributing properties;
- b) Replacement windows should be set within the plane of the wall and use materials that convey quality and permanence;
- c) Blocking in or reducing window openings on principal façades is strongly discouraged.

4.3.3.4 Commercial Entrance Alterations and Repairs

POLICIES

1. Entrances shall remain street-oriented and easily identifiable from the public realm;
2. Garage, service entries and vehicular access points shall not be permitted on the Queen Street façades of contributing or non-contributing properties. All new garages, parking access, or related service entries shall be located on secondary façades, side streets, or rear lanes to preserve the historic commercial character, pedestrian orientation, and continuous streetwall of Queen Street.

GUIDELINES

- a) Recessed entrances are encouraged and consistent with traditional commercial storefront design;
- b) Doors should be proportionate to the scale of the storefront. Oversized or undersized openings that disrupt façade rhythm should be avoided;
- c) Contemporary interpretations (glass doors, simplified framing) are acceptable provided they are compatible with adjacent contributing storefronts;
- d) Where garage, service or vehicular access is required, it should be designed to minimize its visual impact on the public realm. Preferred locations are at the rear of the property or along secondary streets. Access should be screened with landscaping, fencing, or architectural treatments that are compatible with the character of adjacent heritage resources. Driveway widths should be minimized, and garage doors should not dominate the visible façade.

4.3.3.5 Commercial Signage Alterations and Repairs

Commercial signage should follow the policies and guidelines applicable in for contributing properties in Section 3.4.1.5.

4.3.4 **Additions – General Commercial Non-Contributing Properties**

Additions to General Commercial properties that are non-contributing shall follow all applicable policies for contributing properties to ensure that new additions on contributing and non-contributing properties are compatible with the character of the district and the commercial sub-area. These are available in Section 3.4.2 of the document.

4.4 Former Industrial Zone

The placement, scale, and design of non-contributing properties can significantly impact the character of the HCD, particularly in areas where they are adjacent to *contributing* properties or natural heritage features. In the former industrial lands of Hespeler, massing has historically evolved to reflect the needs of manufacturing and warehousing along the Speed River. Non-contributing buildings, particularly those developed more recently, may lack historic architectural value but still occupy visually and contextually sensitive locations. Their redevelopment presents opportunities to strengthen the District’s character by responding to adjacent heritage attributes, streetscape patterns, and the District’s natural setting.

4.4.1 Industrial Repairs and Alterations

POLICIES

1. **Adaptive reuse of non-contributing industrial buildings is encouraged, and should prioritize the retention and enhancement of existing materials and architectural elements that contribute to the District’s industrial character, and sustainable objectives, while allowing for contemporary interventions that accommodate new uses;**
2. **Adaptive reuse projects should also contribute to the public realm, providing pedestrian-friendly frontages, accessible entrances, and landscaping that reinforce the walkable, village-like character of the District;**
3. **Repairs and alterations to non-contributing properties shall not negatively impact the cultural heritage value or heritage attributes of the District and be compatible to the scale, rhythm, and character of adjacent contributing properties;**
4. **The demolition or removal of significant landscape features (e.g., mature trees, original stone walls) that contribute to the character of the area shall require review and approval under the HCD Plan.**

GUIDELINES

- a) Where original materials are retained, they should be repaired rather than replaced where feasible. If replacement is required, new materials should be visually compatible and of durable quality;
- b) It is encouraged to include design rationale or contextual analysis that demonstrates sensitivity to the surrounding heritage context and identifies opportunities for visual and functional integration;
- c) A heritage permit may be required for repairs, alterations and additions on non-contributing properties depending on the scope of the project. This will be at the discretion of the Heritage Planning staff.

4.4.1.1 Rooflines

GUIDELINES

- a) New or replacement roofs should be consistent in pitch and form with adjacent contributing properties;
- b) Roof-mounted equipment should be screened or placed to minimize visual impacts from the street.

4.4.1.2 Exterior Walls and Cladding

GUIDELINES

- a) Cladding materials should be visually compatible with those found on contributing properties (e.g., brick, wood, stone);
- b) Avoid highly reflective or synthetic cladding materials (e.g., mirrored glass, vinyl siding) on façades visible from the public realm;
- c) Repairs or replacements should use a consistent palette of materials across visible façades to avoid a patchwork effect.

4.4.1.3 Windows and Door Openings

GUIDELINES

- a) Alterations to windows and doors should maintain the established rhythm of openings along the streetscape;
- b) Replacement units should be simple in detailing, avoiding overly contemporary treatments that contrast sharply with adjacent heritage resources;
- c) Restoration or reinterpretation of architectural features that reflect the broader industrial heritage of Hespeler, such as loading bays, clerestory windows, or masonry detailing should be encouraged when supported by historical research or photographic evidence.

4.4.2 Industrial – New Development and Additions

While non-contributing properties do not possess individual heritage value, their placement, scale, and design can significantly impact the character of the HCD, particularly in areas where they are adjacent to contributing properties or natural heritage features. In the former industrial lands of Hespeler, massing has historically evolved to reflect the needs of manufacturing and warehousing along the Speed River. non-contributing buildings, particularly those developed more recently, may lack historic architectural value but still occupy visually and contextually sensitive locations. Their redevelopment presents opportunities to strengthen the District’s character by responding to adjacent heritage attributes, streetscape patterns, and the District’s natural setting. Additions on non-contributing properties shall follow all applicable policies and guidelines for contributing properties in the Industrial Character Zone found in Section 3.6.1.



FIGURE 95 Example of development as seen from the bridge at Guelph Ave looking west. The development height maintains the visibility of contributing elements such as smokestacks.

TRACE

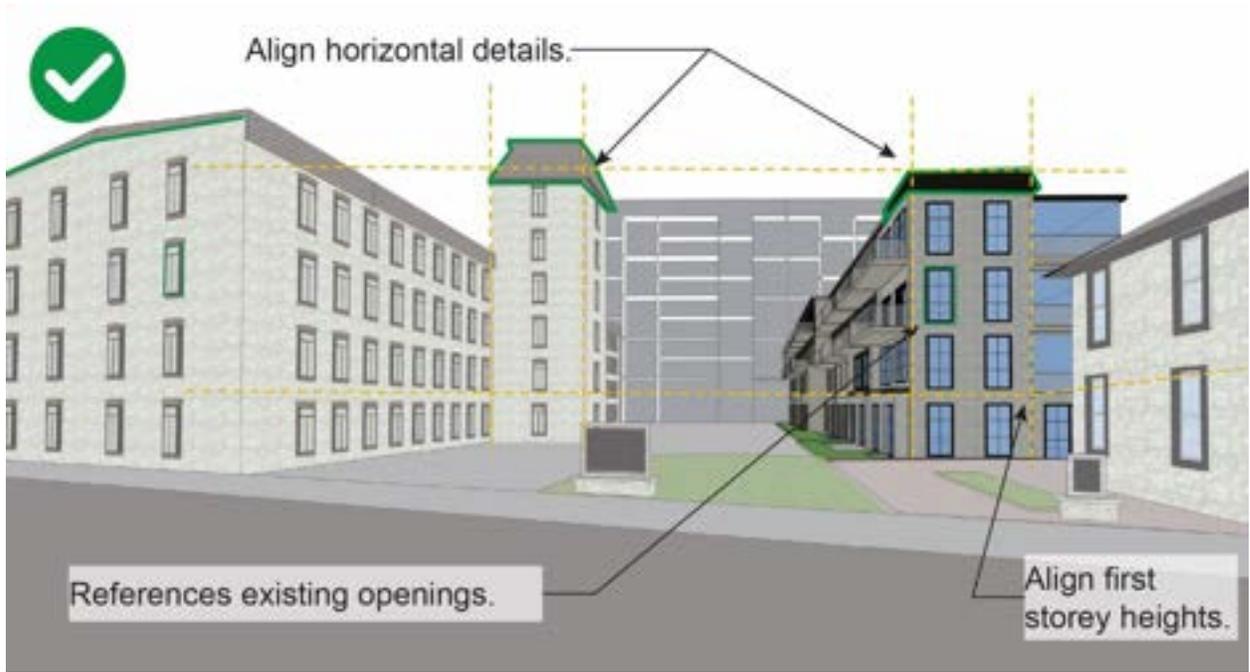


FIGURE 96 Graphic illustrating an example of proportions and design articulation of new construction for new development. TRACE

5 IMPLEMENTATION

5.1 Heritage Permit Process

In the City of Cambridge, Ontario, alterations to properties designated under the *Ontario Heritage Act*, or located within a Heritage Conservation District (HCD) may require a Heritage Permit. This process ensures that changes align with the City's heritage conservation goals. Before proceeding with any modifications, property owners should consult the City's Heritage Planning staff to determine if a permit is necessary. If required, a Heritage Permit Application Form must be completed, providing a detailed description of the proposed work along with supporting materials such as photographs, drawings, or plans.

Once submitted, the application undergoes a review process. Heritage Planning staff assess compliance with heritage policies, and in some cases, the Municipal Heritage Advisory Committee (MHAC) may provide additional recommendations. Following the review, the City will either approve the application, approve it with conditions, or deny it. If approved, property owners may need additional permits, such as building permits, before starting work. To ensure a smooth process, applicants are encouraged to engage with Heritage Planning staff early and refer to the City of Cambridge's Heritage Planning webpage for further guidance at <https://www.cambridge.ca/en/learn-about/Heritage.aspx>

5.1.1 Heritage Permits

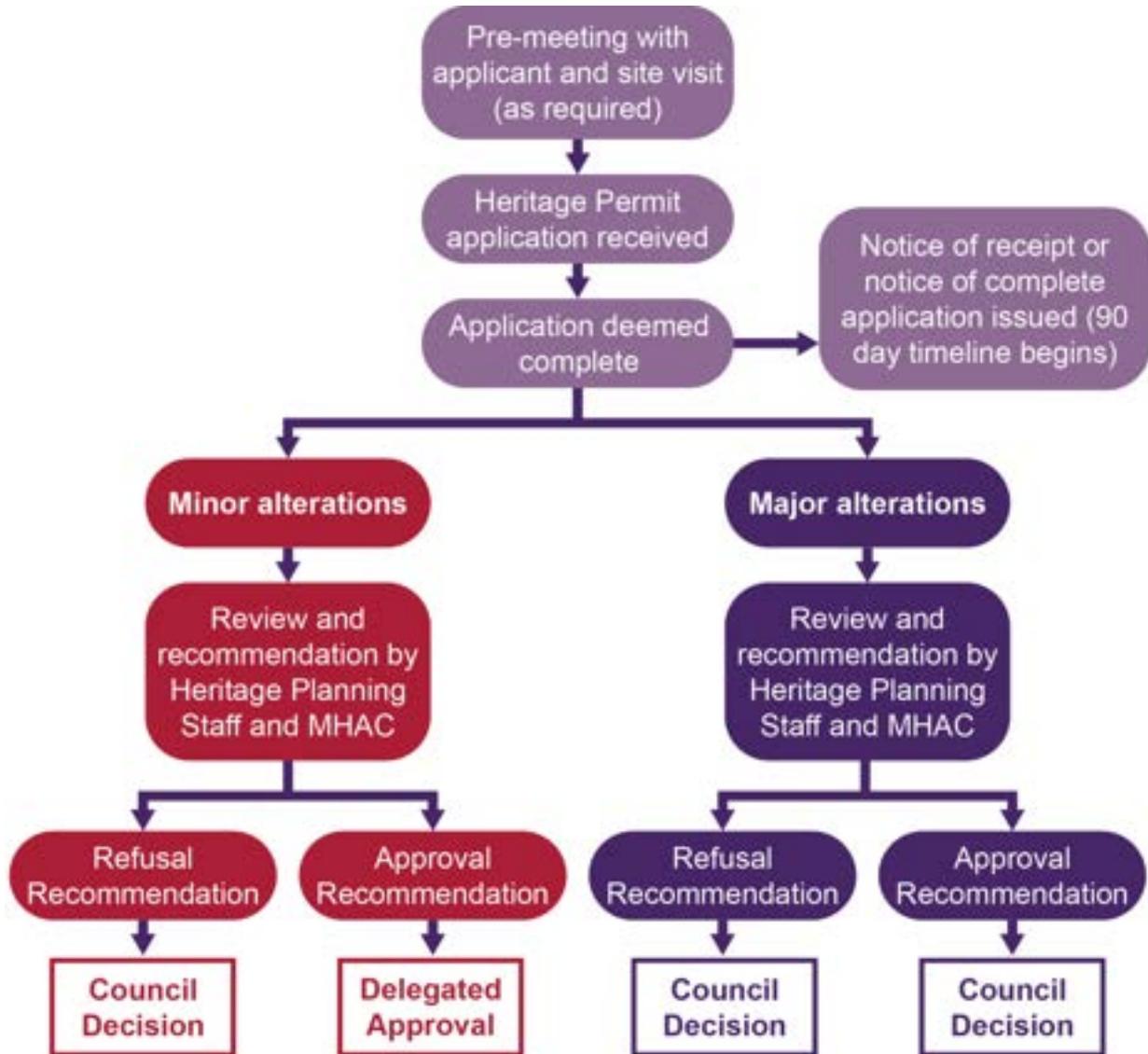
5.1.1.1 Alterations that require a Heritage Permit?

- Demolition of a building or structure within the HCD;
- Construction of a new building or structure within the HCD;
- Removing any significant cultural heritage features, visible from the public realm;
- Major additions or major building work, visible from the public realm;
- Tree removal on a property with a heritage designation (Properties designated under the *Ontario Heritage Act*, or within a heritage conservation district, often require permits for any alterations, including tree removal, that could impact the designated heritage attributes.

5.1.1.2 Alterations that do not require a Heritage Permit?

- All interior work;
- Landscaping, unless heavy machinery is involved;
- Basic and routine maintenance not requiring a permit;
- Rear yard alterations not visible from the public realm (e.g. pools, decks, tree removals, etc.);
- Minor exterior alterations as may be described as exempt within the HCD Plan, per Section 41.1 of the *Ontario Heritage Act*;
- Replacement of non-heritage features or materials with the same material (e.g. replacing asphalt roofing material with new asphalt roofing material).

5.1.1.3 Permit Process



5.1.2 Cultural Heritage Impact

Assessment

A CHIA evaluates the impact of a proposed development, building alteration or site alteration on a built heritage resource(s) or a cultural heritage landscape(s) and recommends mitigative measures or alternative development approaches to conserve the heritage attributes of that resource/landscape. CHIAs are an important planning tool to ensure the heritage values, attributes and integrity of cultural heritage resources are considered in the land development process.

5.1.2.1 When is a CHIA Required

A CHIA may be requested for development proposals on any property that is listed on the Heritage Register; this includes any property within the Hespeler HCD. A Heritage Impact Assessment will be required to accompany any applications for a zoning by-law amendment, Official Plan amendment, consent to sever or site plan agreement. The purpose of a CHIA is to describe and assess the existing physical condition of a heritage resource, the potential for the restoration and reuse of the heritage resource, and how the proposed alteration or development conserves the heritage resource.

- For additions to properties, and at the discretion of staff, a CHIA may be required for additions to contributing (also for non-contributing) properties to determine the impact of the addition on the cultural heritage value and [heritage] attributes of the district;
- In the case of demolitions, a CHIA will be required to determine the impact of replacement buildings on the cultural heritage value and [heritage] attributes of the district;
- In the case of new development, a CHIA may be required to determine the impact of new buildings and structures on the cultural heritage value and [heritage] attributes of the district.

At City Staff's discretion, the content of a CHIA may be scoped to reflect anticipated impacts to a heritage resource or waived if there is sufficient information to suggest there will be no impacts to a heritage resource (i.e., erection of a temporary structure). Where staff is of the opinion the potential impacts to a resource will be minor, the discussion of impacts may be integrated into an Urban Design Brief or Urban Design Study.

5.1.2.2 Notification

A CHIA is most effective when it is conducted early in the development application process and should form part of a complete application. The findings, conclusions and recommendations of the CHIA as well as the Municipal Heritage Advisory Committee's comments on the report should be reflected in the development concept advanced to the City and thus should be implemented prior to final site plan or building permit approval. City of Cambridge staff will inform property owners and/or their representative of the need for a CHIA. Applicants considering development, building or site alterations are encouraged to contact one of the Senior Heritage Planners early in their project planning process to determine if a CHIA is required. If so, they will be provided a copy of this Terms of Reference.

5.1.2.3 Qualified Heritage Conservation Professional

A CHIA must be prepared by a qualified heritage conservation professional, such as a heritage planner, heritage architect and/or heritage landscape architect, with demonstrated knowledge of accepted heritage conservation standards, and experience with historical research and identification/evaluation of cultural heritage value. The professional should be registered with the Canadian Association of Heritage Professionals (CAHP) and be in good standing. The qualifications and background of the professional completing the CHIA must be included in the report in the form of a Curriculum Vitae (CV).

For more information on the City's CHIA process, please see the Terms of Reference here:

<https://www.cambridge.ca/en/learn-about/resources/Heritage/FINAL-City-of-Cambridge-CHIA-CP-Salvage-ToRs-2023.pdf>

5.1.3 Adjacent Lands Development

Adjacent lands policies pertaining to a Heritage Conservation District (HCD) typically aim to protect the district's heritage character from indirect impacts caused by new development or alterations on nearby properties. Adjacent lands are contiguous to, or located nearby, a designated Heritage Conservation District (HCD) such that development or site alteration on those lands has the potential to impact the heritage attributes, character, or setting of the HCD. The City of Cambridge Official Plan, section 4.0. states that a CHIA shall be required for a development proposal or Community Plan that includes or is adjacent to a designated property or cultural heritage landscape, or that includes a non-designated resource of cultural heritage value or interest listed on the Municipal Heritage Register.

The potential impacts could be direct, such as demolishing or altering a structure on a designated property, or indirect such as changes to the streetscape of lands adjacent to a cultural heritage resource

5.1.3.1 Key Adjacent Lands Policies for an HCD

Requirement for a Cultural Heritage Impact Assessment (CHIA)

- An CHIA will be required if a proposed development or alteration on adjacent lands has the potential to impact the heritage attributes, views, or character of the HCD.

Compatibility of New Development

- New buildings or additions on adjacent lands should be compatible with the scale, massing, materials, and architectural style of the HCD; and
- Designs should not overshadow, dominate, or detract from the character of the district.

Protection of Views and Vistas

- Development should maintain important sightlines and views into and out of the HCD, especially if the district includes landmarks or culturally significant streetscapes.

Mitigation of Negative Impacts

- If a project on adjacent lands could negatively affect the HCD, mitigation measures such as setbacks, buffering (e.g., landscaping), and sympathetic design may be required.

Alignment with Municipal and Provincial Policies

- Adjacent land developments must comply with the *Ontario Heritage Act*, Provincial Planning Statement (PPS), and municipal heritage guidelines that regulate land use near heritage resources.

Public and Municipal Review

- Developments on adjacent lands often require review by heritage planners, committees, or municipal councils, to ensure heritage conservation principles are upheld.

These policies help ensure that changes on adjacent properties do not erode the historic integrity and sense of place of a HCD while allowing for context-sensitive development.

5.2 Financial Incentives

Please note that this information is current as of date. For the most recent information, please contact Planning Services at the City of Cambridge.

5.2.1 Existing Heritage Incentive Programs in the City of Cambridge and Region of Waterloo

At the time of publishing of the Heritage Conservation Plan, the City of Cambridge offers the Designated Heritage Property Grant Program to assist owners of designated heritage properties with conservation and restoration efforts. This program provides matching grants covering up to 50% of eligible project costs, with a maximum of \$5,000 per property each calendar year.

Eligibility Criteria:

- Properties must be designated under Part IV or Part V of the *Ontario Heritage Act*; and
- The property must comply with the *Ontario Heritage Act*.

Eligible Projects:

Priority is given to projects that conserve or restore elements cited as attributes of cultural heritage value or interest in the property's designation by-law. Examples include:

- Restoration of original architectural details;
- Repair of heritage features using appropriate materials and techniques;
- Structural work necessary to preserve the building's integrity; and
- Property owners are eligible for one grant per calendar year for a single project.

Application Process:

Project Proposal: Submit a detailed description of the proposed work, including materials to be used, sizes, mortar mixes, etc.

Quotations: Provide two quotes from qualified contractors for the proposed work.

Supporting Documentation: Include drawings, photographs, and any available historic images to support the application.

For more information or to obtain the application form, visit the City's Designated Heritage Property Grant Program page: <https://www.cambridge.ca/en/learn-about/Designated-Heritage-Property-Grant-Program.aspx>

For more information and to receive updated information related to this program, contact planning@cambridge.ca.

5.2.2 Incentive Programs in Ontario

Over 40 municipalities in Ontario have developed heritage conservation incentive programs to promote the conservation and restoration of their heritage resources. A scan of eight municipalities was undertaken to understand the variety of programs offered. These municipalities include Prince Edward County, City of Hamilton, City of Windsor, City of Ajax, City of Kitchener, Town of Collingwood, Town of Caledon, and City of Peterborough. Although all eight municipalities have at least one heritage conservation district (HCD), no HCD specific heritage incentive programs appear to have been developed. Instead, incentive programs have generally been expanded to include properties designated under both Part IV and Part V of the *Ontario Heritage Act*. The Town of Caledon specifies that properties designated under Part V need to be a contributing property within the HCD. Similarly, Prince Edward County specifies non-contributing properties within an HCD are not eligible for heritage incentives unless the application is for new signage that aligns with the HCD Plan guidelines.

5.2.2.1 Heritage Grant Programs

The most common incentive is a Heritage Grant Program. Generally, these programs are similarly structured to the City of Cambridge program. Common features include:

- Cover up to 50% of the cost of eligible work with the maximum amount ranging from \$3,000 to \$5,000. Grant amounts must be matched by property owners;
- Applies to properties designated under Part IV and Part V (with some limitations); and
- Generally limited to projects that conserve and restore heritage attributes of a building, with exceptions for structural work that are necessary to maintain structural integrity.

Please note that these programs are active as of HCD Plan submission date. For the most up to date information, please consult the City of Cambridge Heritage Planning page:

<https://www.cambridge.ca/en/learn-about/Heritage.aspx>

5.3 Frequently Asked Questions Relating to Heritage Conservation Districts

Q: Are properties within Heritage Conservation Districts “Designated Heritage Properties”?

A: Yes, properties within an HCD are considered designated under the *Ontario Heritage Act*.

Q: How much does a Heritage Permit cost?

A: The City of Cambridge does not charge a fee for Heritage Permits.

Q: If my neighbourhood becomes a Heritage Conservation District, does it mean I’ll need to spend more money maintaining my property?

A: No, designation does not impose any additional maintenance requirements. Regular city by-laws still apply. Note that older buildings may inherently require more maintenance due to their age.

Q: Is there any assistance available to help owners maintain their properties?

A: Yes, for properties within an HCD as well as individually designated properties, there is a City Heritage Grant Program and a Waterloo Region Heritage Foundation Fund to help property owners maintain their property’s heritage attributes. Both programs provide a grant for up to 50% of the eligible project costs.

Q: Will this affect my property taxes?

No, inclusion within an HCD does not affect property taxes. Property taxes are set by property class, using the assessed value calculated by the Municipal Property Assessment Corporation.

Q: Does a heritage designation reduce a property’s resale value?

This claim has been investigated and, in many cases, is found to be untrue. There are many published case studies and research online, including studies done by McMaster University and Canada’s Historic Places.

Q: Will this affect my property insurance?

A Heritage Conservation District should not increase your insurance costs. Note that older buildings may inherently be more difficult to insure due to the risk associated with their age.

Q: If my neighbourhood becomes a Heritage Conservation District, does that mean that I can’t make changes to my property?

A: No, properties within a Heritage Conservation District can be altered and renovated. An HCD Plan will provide guidelines for maintenance, renovations, and new development that respects

the neighbourhood characters. A heritage permit is required for some exterior work. Interior work does not require a heritage permit.

5.4 Property Insurance

A common misconception about heritage designation is that it automatically increases property insurance costs. In reality, insurance premiums are typically based on a property's age, condition, construction materials, and replacement costs, not its heritage status. While designated heritage properties may require more specialized materials or craftsmanship for repairs, this does not necessarily translate to higher insurance rates. In fact, some insurers view designated properties as lower risk due to the regular maintenance and oversight they receive. Owners are encouraged to shop around and speak directly with brokers familiar with heritage properties to ensure they are properly and fairly insured.

The Province of Ontario states specifically that insurance premiums should not go up because of a heritage designation. Insurance companies may increase premiums for older buildings for a variety of reasons such as outdated wiring, old heating systems, etc. Some companies do not insure buildings over a certain age, but designation itself does not place additional requirements on the insurer and should not affect premiums.

Heritage planners in Ontario play an important role in supporting property owners by offering guidance, clarification, and practical advice about the implications of heritage designation. When concerns arise, such as the fear that designation will increase insurance premiums, heritage planners can help homeowners understand what designation does and does not mean, including the fact that it does not mandate full restoration or require period-specific reconstruction after damage. They can provide resources, case studies, and referrals to insurance providers familiar with heritage buildings. Many municipalities also offer dedicated heritage staff who can help navigate repair or alteration processes, provide guidance on conservation best practices, and explain available financial incentives such as grants or tax relief programs. In some cases, municipalities may also provide formal letters clarifying the designation status of a property and its implications, which homeowners can share with insurance companies to help avoid misunderstandings.

5.4.1 Property Insurance Risk Prospectus

The Insurance Bureau of Canada (IBC) encourages heritage homeowners to complete a *Property Risk Prospectus*, a tool used to document the condition of key building systems like wiring, plumbing, roofing, and heating. This helps insurers assess actual risk rather than relying on assumptions about older or designated properties. The prospectus can also highlight safety upgrades and clarify the scope of heritage designation, which can help prevent misunderstandings and potentially lower insurance premiums. Heritage homeowners are also advised to shop around for coverage, maintain clear records, and ensure they have adequate replacement-cost insurance. Please see an example of Property Risk Prospectus below.

For more information and resources from the Insurance Bureau of Canada, please see <https://www.ibc.ca/insurance-basics/home/types-of-home-insurance-coverage>

Village of Hespeler
**Heritage Conservation
District Plan Appendices**



City of Cambridge
2026.03



TRACE architectures is an Ottawa-based architectural and research studio that is exploring the possibilities of existing places.

Our Mission and Vision

To contribute positively and passionately to the regeneration of places. We aim to achieve this by elevating quality of experience, improving performance and implementing resource conservation, through a purposeful and interconnected approach.

TABLE OF CONTENTS

A1	DEFINITIONS	1
A2	CONSULTATION AND ENGAGEMENT	5
	A2.1 HCD Study	5
	A2.2 HCD Plan	7
A3	SCHEDULE OF PROPERTIES	9

A1 DEFINITIONS

Addition	New construction beyond an existing building's envelope that increases the building's volume in any direction.
Adjacent	Lands, buildings or structures that are directly across from and near to the property in question. Adjacent lands are also typically considered contiguous to cultural heritage resources
Alteration	To change or to alter a property within the District by means of restoration, repair or removal that may result in a change to a property.
Character Sub-Area	A geographic area within the District whose grouping of properties contributes to the District's Cultural Heritage Value. Each Sub-Area reflects a distinct character.
Compatible	Compatibility refers to the physical and visual impacts of new development, additions and alterations that have low impacts to properties within the District. Visual compatibility refers to designing while complimenting existing forms, scale that does not detract or negatively impact the property's heritage attributes.
Conservation	The identification, protection, management and use of built heritage resources that ensures its heritage value is retained under the Ontario Heritage Act. Conservation includes preservation, rehabilitation, restoration or a combination of these treatments.

A1 DEFINITIONS

Conservation Treatments	Under the Standards and Guidelines for Conservation of Historic Places in Canada, the act of preserving, rehabilitating or restoring heritage fabric when undertaking conservation projects.
Contributing property	Contributing properties are those that embody the historical, architectural, contextual, or cultural significance of the District. These properties, buildings, structures, or landscapes retain key heritage attributes that reflect the period, style, or function that defines the District's overall character. contributing properties were determined to meet 2/9 criteria under O.Reg.9/06.
Cultural Heritage Landscape	A defined geographical area that may have been modified by human activity and has been identified as having cultural heritage value or interest, by the community. The area may include buildings, structures, important views, plant species or bodies of water that hold value or meaning as a collective.
Cultural heritage value	The aesthetic, historic, scientific, cultural, social or spiritual significance of a place that holds importance or significance. Cultural heritage value is embodied in its heritage attributes or character defining elements such as materials, forms, locations, cultural affiliations or spatial configurations.
Demolition	The complete destruction of a heritage structure or property from its site. This includes demolition for reassembly.
Distinguishable	The visual contrast of an element being different from an existing structure, building or cultural heritage landscape.
District	The short form of the Heritage Conservation District, as defined by this Plan and previous Study, designated under Part V of the Ontario Heritage Act.
Guideline	Guidelines included in this document are not mandatory, but rather provide suggestions for how the plan's policies may be achieved. There may be other means of satisfying related policies otherwise not included as a guideline.

A1 DEFINITIONS

Heritage attributes	Heritage attributes are the principal features that contribute to their cultural heritage value as described in the Statement of Significance of this Plan or within the bylaw of individual properties designated under Part IV of the Ontario Heritage Act. Heritage attributes may be built or manufactured elements, natural landforms, vegetation, landscapes, forms, materials or spatial configurations that contribute to cultural heritage value.
Integrity	Integrity measures wholeness and intactness of cultural heritage values and heritage attributes of a contributing property or the District as a whole. Examining integrity requires examination to ensure the property retained all elements that contribute to its cultural heritage value and its features convey its significance. Integrity may be assessed within a Heritage Impact Assessment (HIA).
New development	The construction of additions or new construction to properties within the boundaries of the District.
Non-Contributing Property	A property, structure, building or landscape element that does not support the overall cultural heritage value, heritage attributes and integrity of the District.
Ontario Heritage Act	The Ontario Heritage Act (OHA) empowers municipalities and the Minister of Citizenship and Multiculturalism to designate property of cultural heritage value or interest.
Policy	As it relates to this document, policies refer to the bylaw requirements for managing change within the boundaries of the District. Policies use direct language such as “shall” or “should” to be interpreted accordingly.
Public Realm	Spaces intended for public use, including but not limited to streets, sidewalks, laneways, parks, publicly accessible open spaces, walkways or easements.
Rehabilitation	The action or process of making a compatible use of a historic place. As defined under the Standards and Guidelines for the Conservation of Historic Places in Canada, rehabilitation shall be the primary treatment when i) repair or replacement of deteriorated features is necessary, ii) alterations or additions to the historic place are planned for a new or continued use; and, iii) depiction during a particular period in its history is not appropriate.

A1 DEFINITIONS

Relocation	The removal and reinstatement of a building or structure from one portion of a property to another within the same or different property. Relocation and relocate have corresponding meanings.
Removal	The permanent act of removing or dislocating a building, structure or heritage attribute from its site or property. Removal and Remove have corresponding meanings.
Repair	Is maintenance work that does not require a change to material or form and therefore has no negative impact on the property's integrity.
Restoration	Entails accurately revealing, recovering or representing the state of a historic element or heritage attribute, as it appeared at a particular period in history, while protecting heritage value. Restoration must be based on clear evidence and detailed knowledge of earlier forms and materials being recovered. Restoration and restored have corresponding meaning.
Setback	A horizontal distance measured at a right angle from any lot line to the nearest part of the main wall of a building or structure.
Stepback	The measure by which a portion of a building mass above grade level is recessed from the wall of the mass directly below.
Streetwall	The portion of a building immediately fronting onto a mainstreet, forming a built wall adjacent to the right of way.
Subordinate	Subordinate entails that the new development must not detract from the historic place or impair its heritage value. Subordination does not exclusively include size.
Three-dimensional integrity	A building in three dimensions, on all its sides including its roof plane.

A2 CONSULTATION AND ENGAGEMENT

A2.1 HCD Study

October 19, 2023 – Municipal Heritage Advisory Committee (MHAC), Meeting #1

Featured a presentation by the Consultant Team which introduced the project team and included information about Heritage Conservation Districts, objectives and benefits of a Study, and initial area maps drawn from the preliminary results of the Field Study.

October 30, 2023 – Community Consultation #1

Featured a presentation by the Consultant Team, a robust Q&A session, and an informal period for personal interactions with the Consultants and municipal representatives. This setup allowed for in-depth discussions, viewing of map boards, submission of comments, and Community Focus Group sign-ups.

January 10, 2024 – Community Focus Group, Meeting #1

Session included a brief introduction, presentation of Study Area and survey results, discussion on the downtown Queen Street core, breakout groups focusing on 3 case studies, summary, and next steps.

February 1, 2024 – Online Engagement / Survey

An online survey was conducted through the City's website, questions in the survey involved subjects such as residency within Hespeler, awareness and implications of an HCD, cultural heritage value and important features of Hespeler, and priorities and challenges of an HCD, the survey also offered opportunity for community feedback.

February 14, 2024 – Community Focus Group, Meeting #2

A2 CONSULTATION AND ENGAGEMENT

Session contained a focused discussion on Natural Landscapes within the study area and Village Gateways, particularly the importance of those entering the Hespeler Core along Queen Street East, Cooper Street, Queen Street West, and Guelph Avenue.

March 13, 2024 – Community Focus Group, Meeting #3

Session included discussions on the Hespeler River Activation Master Plan, Conservation Area/Pedestrian Bridge Environmental Assessment (EA), SW/SE Study Area, and Heritage Conservation Districts, focusing on their significance, uniqueness, and history.

April 10, 2024 – Grand River Conservation Authority (GRCA)

Discussion focused on the conservation and regulatory management of the Chilligo Conservation Area, key topics included maintaining the area as a passive conservation space, characterized by minimal active human intervention, lacking staff for regular patrolling.

April 18, 2024 – MHAC, Meeting #2

Discussion included questions and answers related to the HCD process, questions asked by the city were related to heritage property designation, clarification of heritage designation criteria, existing heritage status of study properties, and definitions of property.

A2.2 HCD Plan

December 4, 2024 – Public Information Centre (PIC) #1, Public Open House

Session included a presentation from the Consultant Team that identified the high-level characteristics of an HCD, the results from the HCD Study, and next steps leading into the HCD Plan phase, followed by an interactive breakout group session to gauge community opinion of the HCD character areas.

December 5, 2024 – MHAC, Plan, Meeting #1

Featured a presentation by the Consultant Team identifying the results of the HCD Study which included a draft statement of values, list of heritage attributes in the District, and objectives of the HCD, the presentation also outlined the preliminary structure of the HCD Plan.

January 15, 2025 – Community Focus Group, Plan, Meeting #1

Session included a presentation from the Consultant Team outlining the contents and objectives of an HCD Plan, discussed gateways and key views in the HCD, key heritage attributes of the commercial core, and the desired future character of the HCD, the session was then opened for question, comment, and discussion from the community.

February 12, 2025 – Community Focus Group, Plan, Meeting #2

Session included a presentation from the Consultant Team outlining the contents and objectives of an HCD Plan, discussed key views and heritage attributes of the HCD's former industrial areas and natural landscapes, and discussed the difference between Policies and Guidelines, providing draft examples of each within the HCD. The session was then opened for question and comment from the community.

September 17, 2025 – Community Focus Group, Plan, Meeting #3

Session included a presentation from the Consultant Team introducing the Draft Plan, which discussed the HCD boundary and character areas, contributing & non-contributing properties, and heritage permits and grants. The session was then opened for community feedback on Policies and Guidelines developed for the HCD and sub-areas.

Online Engagement / Survey – September 2025 – November 2025

An online survey was conducted through the City's website, questions in the survey were used to gauge community awareness and opinion on the draft HCD Plan and Guidelines, as well as inform residents of opportunities and restrictions related to exterior alterations of their property within the District.

October 7, 2025 – Statutory Public Meeting on Draft HCD

Featured a presentation by the Consultant Team providing background and context to the HCD process to date, highlights and objectives of the Draft Plan and Guidelines, textual examples of Policies and Guidelines within the HCD, as well as visual and graphic materials supporting them, and a discussion of next steps.

October 16, 2025 – MHAC, Plan, Meeting #2

Featured a presentation and directed discussion led by the Consultant Team providing background and context to the HCD process to date, highlights and objectives of the Draft Plan and Guidelines, textual examples of Policies and Guidelines within the HCD, as well as visual and graphic materials supporting them, and a discussion of next steps.

October 29, 2025 – PIC #2: Public Open House

Session involved an open forum for residents to drop-in and discuss the HCD Plan and Guidelines, with representatives from the City and the consultant team available to answer and explain any questions from the community related to the District.

February 19, 2026 – MHAC Presentation Final Plan

Focused on briefly presenting very minor updates to the Plan document and requesting MHAC recommendation to have the Plan proceed to Council.

A3 SCHEDULE OF PROPERTIES

Please see the Schedule of Properties for the Hespeler HCD. Please note that property address information is based on up-to-date GIS mapping data provided by the City of Cambridge. In certain instances, a property may have additional parcels, multiple addresses, or be addressed as '0'. Duplicate properties, and inconsistencies from the original data have been removed. For more information, please consult the City of Cambridge.

Properties noted as Contributing meet at least 2 of 9 criteria under the *Ontario Heritage Act*, while Non-Contributing properties meet less than 2. For more information on the *Act* and the criteria please consult Part 2 of the Hespeler Heritage Conservation District Plan.

49 Guelph Ave.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 49 Guelph Ave.
Property Name: Jacob's Landing
Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
Date of Construction: N/A
Past Use: Hespeler's distillery
Current Use: Jacob's Landing Park

Zoning Information

Zoning Code: OS1
Zoning Type: OPEN SPACE

Additional Notes

Jacob's Landing Park

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	Y	Y	Y	Y	N

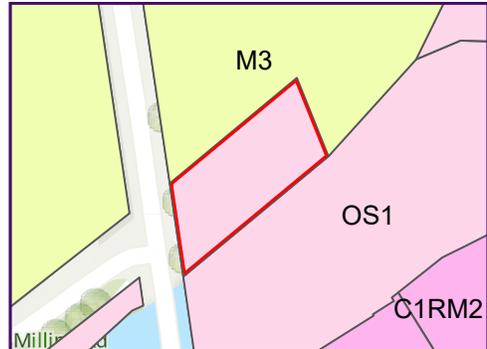
Street view of 49 Guelph Ave.



Aerial view of 49 Guelph Ave.



Surrounding zoning context



55 Guelph Ave.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 55 Guelph Ave.
Property Name: Jacob's Landing
Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
Date of Construction: N/A
Past Use: N/A
Current Use: Jacob's Landing Park

Zoning Information

Zoning Code: M3
Zoning Type: INDUSTRIAL

Additional Notes

Jacob's Landing Park

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	N	N	Y	Y	N

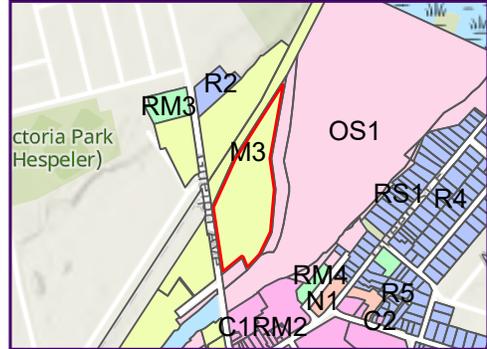
Street view of 55 Guelph Ave.



Aerial view of 55 Guelph Ave.



Surrounding zoning context



0 Hespeler Rd.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 0 Hespeler Rd.

Property Name: N/A

Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Part of the Mill Run Trail

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 0 Hespeler Rd.



Aerial view of 0 Hespeler Rd.



Surrounding zoning context



0 Highway 24.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 0 Highway 24.

Property Name: N/A

Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Part of the Chilligo Conservation Area

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

Land purchased by the GRCA from the Ministry of Transportation in 2008

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

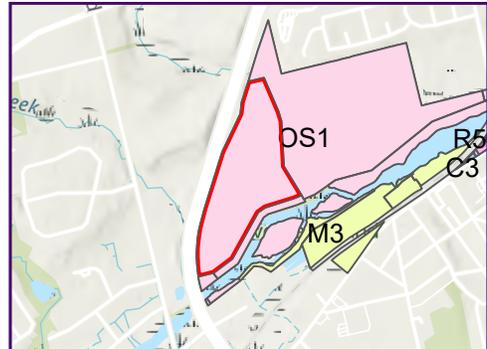
Street view of 0 Highway 24.



Aerial view of 0 Highway 24.



Surrounding zoning context



0 Highway 24.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 0 Highway 24.

Property Name: N/A

Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Part of the Mill Run Trail

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

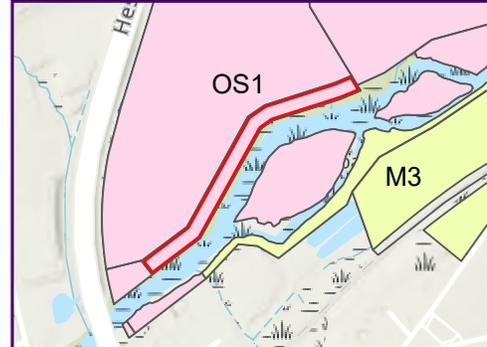
Street view of 0 Highway 24.



Aerial view of 0 Highway 24.



Surrounding zoning context



235 Queen St E.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 235 Queen St E.
Property Name: Ellacott Lookout
Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
Date of Construction: N/A
Past Use: N/A
Current Use: Park

Zoning Information

Zoning Code: OS1
Zoning Type: OPEN SPACE

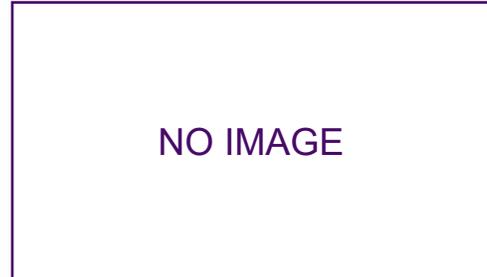
Additional Notes

Ellacott Lookout
Adjacent to Speed River
Mature Trees

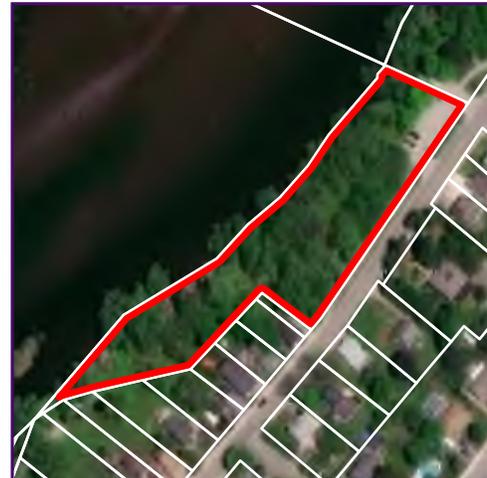
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

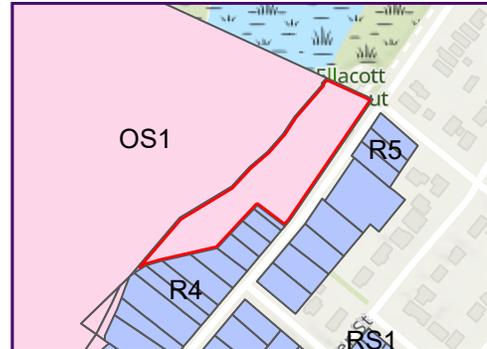
Street view of 235 Queen St E.



Aerial view of 235 Queen St E.



Surrounding zoning context



0 Sheffield St.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 0 Sheffield St.

Property Name: Grand River Conservation Authority

Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Part of the Chilligo Conservation Area

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

Chilligo Conservation Area

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

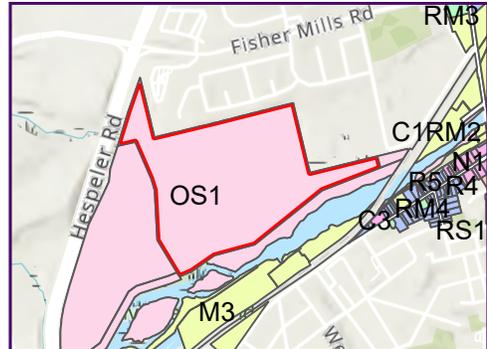
Street view of 0 Sheffield St.



Aerial view of 0 Sheffield St.



Surrounding zoning context



0 Sheffield St.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 0 Sheffield St.
Property Name: Mill Run Trail
Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
Date of Construction: N/A
Past Use: N/A
Current Use: Part of the Mill Run Trail

Zoning Information

Zoning Code: OS1
Zoning Type: OPEN SPACE

Additional Notes

Mill Run Trail

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

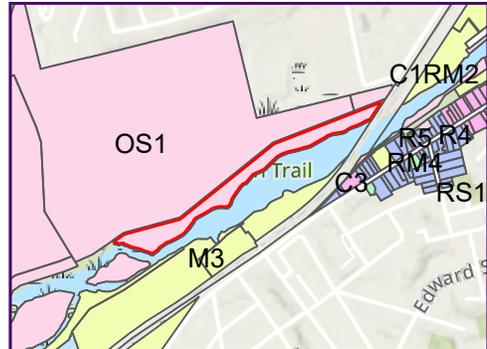
Street view of 0 Sheffield St.



Aerial view of 0 Sheffield St.



Surrounding zoning context



102 Sheffield St.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 102 Sheffield St.
Property Name: CSD Service Depot
Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: N/A
Current Use: Mill Run Trailhead

Zoning Information

Zoning Code: OS1
Zoning Type: OPEN SPACE

Additional Notes

Storage Facilities where equipment or vehicles are maintained, repaired or stored. Owned by City.

Contextual criteria met as adjacent to Mill Run Trail/Chilligo Conservation area.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

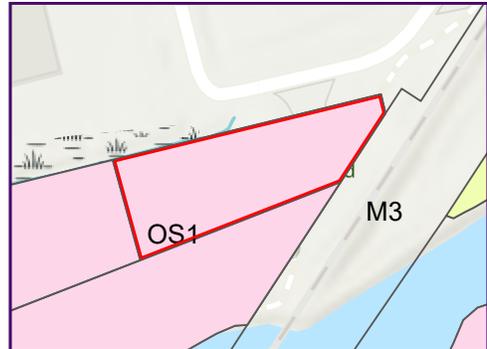
Street view of 102 Sheffield St.



Aerial view of 102 Sheffield St.



Surrounding zoning context



95 Spring St.

Natural Heritage Areas

Contributing Property

General Information

Property Address: 95 Spring St.
 Property Name: Little Riverside Park (Hespeler)
 Heritage Character Area: Natural Heritage Areas

Property Description

Builder/Architect: Unknown
 Date of Construction: N/A
 Past Use: Cottage
 Current Use: Park

Zoning Information

Zoning Code: OS1
 Zoning Type: OPEN SPACE

Additional Notes

Little Riverside Park

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

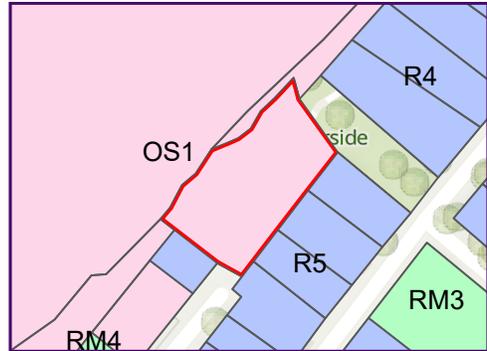
Street view of 95 Spring St.



Aerial view of 95 Spring St.



Surrounding zoning context



9 Adam St.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 9 Adam St.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

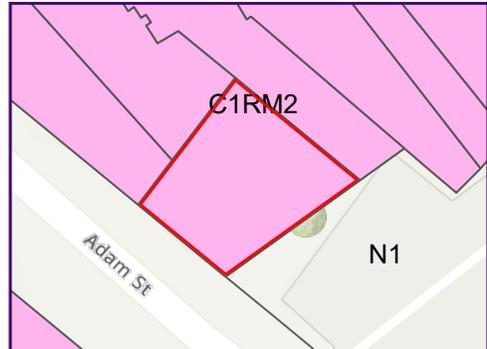
Street view of 9 Adam St.



Aerial view of 9 Adam St.



Surrounding zoning context



15 Cooper St.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 15 Cooper St.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Parking lot

Materials: N/A

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	N	N

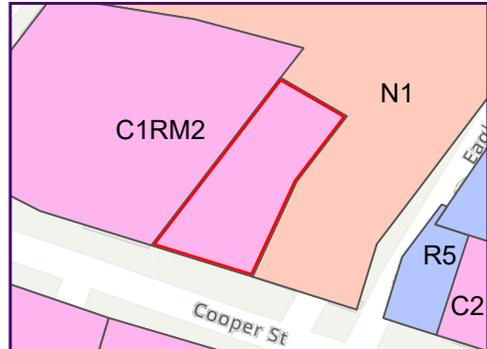
Street view of 15 Cooper St.



Aerial view of 15 Cooper St.



Surrounding zoning context



16 Cooper St.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 16 Cooper St.
 Property Name: St. Mary's of the Visitation Roman Catholic Church

Property Description

Builder/Architect: Unknown
 Date of Construction: 1862
 Past Use: First Presbyterian Church in Hespeler ,
 Alexandra Hall
 Current Use: St. Mary of the Visitation Roman Catholic

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

Built in 1862 on land given by Robert Forbes. After the removal of the congregation to the new St. Andrew's on Queen St., the building became Alexandra Hall.

The original building was destroyed by a fire in 1916. The present St. Mary's was dedicated on June 25, 1917.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	Y	N	Y	Y	N

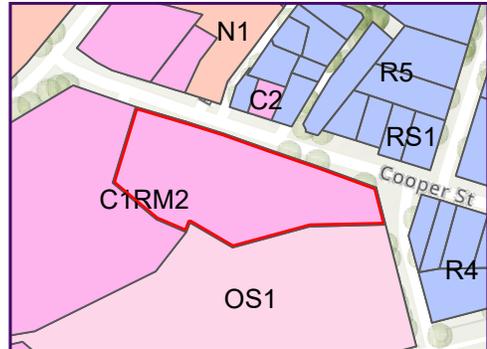
Street view of 16 Cooper St.



Aerial view of 16 Cooper St.



Surrounding zoning context



16 Kribs St.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 16 Kribs St.
 Property Name: Forbes Park
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1924 (pavilion)
 Past Use: Park
 Current Use: Park
 Materials: N/A

Zoning Information

Zoning Code: OS4
 Zoning Type: OPEN SPACE

Additional Notes

The park contains the Hespeler Tennis Club, Forbes Park Pavilion (bandstand), and the Hespeler Scout House.

Forbes Park was created following the donation of land by George Duthie Forbes in 1915.

The existing bandstand structure was constructed ca. 1924 when the Women's Institute commissioned its construction to honour Hespeler soldiers who died in the First World War.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	Y	N	Y	Y	N

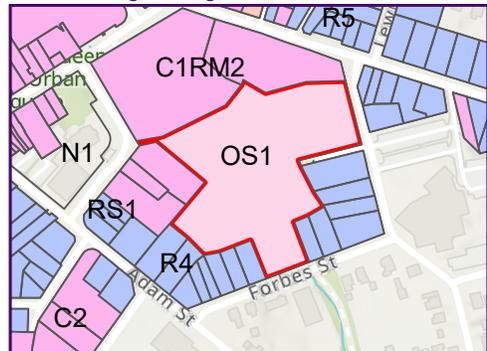
Street view of 16 Kribs St.



Aerial view of 16 Kribs St.



Surrounding zoning context



1 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 1 Queen St E.
 Property Name: Goebel Block
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
 Date of Construction: after 1876 (1890)
 Past Use: Commercial, Residential
 Current Use: Commercial, Residential
 Materials: Plaster

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

The Orton Block, the neighbouring building on the corner of Queen St. E. and Guelph Ave., was demolished to widen Guelph Ave.

The building was once a drug store owned by Joseph Phin and later run by his son Robert Phin. Pharmaceutical drugs were sold at that location, which was known as Phin's Drug Store, from 1882 until Robert Phin retired in the mid-1950s.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 1 Queen St E.



Aerial view of 1 Queen St E.



Surrounding zoning context



2 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 2 Queen St E.

Property Name: Schultz Block

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: before 1885 (1900)

Past Use: Schultz Block

Current Use: Commercial, Residential

Materials: Plaster, wood siding on lower level

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

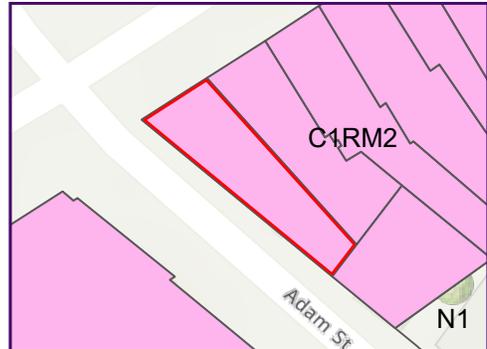
Street view of 2 Queen St E.



Aerial view of 2 Queen St E.



Surrounding zoning context



4 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 4 Queen St E.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: 1873

Past Use: Commercial, Residential

Current Use: Commercial, Residential

Materials: Metal siding, brick

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

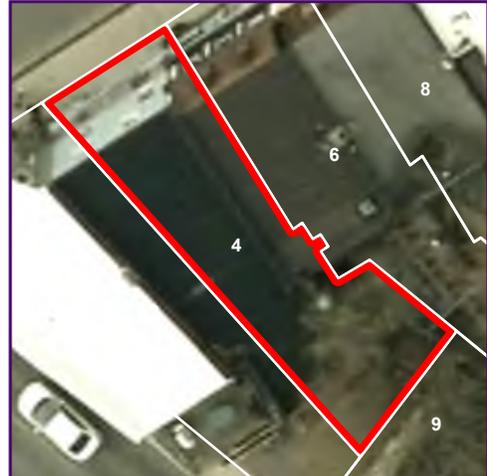
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 4 Queen St E.



Aerial view of 4 Queen St E.



Surrounding zoning context



5 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 5 Queen St E.
Property Name: Pringle's Jewellery Store
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: 1880 (1870's)
Past Use: Pringle's Jewellery Store
Current Use: Commercial, Residential
Materials: Brick (painted)

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

James Pringle is listed on the Parcel Register Book as making a property acquisition in the early 1880s. Mr. Pringle reportedly started his career in John Henry's building as a watchmaker. James Pringle served on the Hespeler Council.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 5 Queen St E.



Aerial view of 5 Queen St E.



Surrounding zoning context



6 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 6 Queen St E.

Property Name: Beck Building

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: early 1880's

Past Use: Commercial, Residential

Current Use: Commercial, Residential

Materials: Yellow brick (painted)

Zoning Information

Zoning Code: C1RM2 S.4.2.4

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

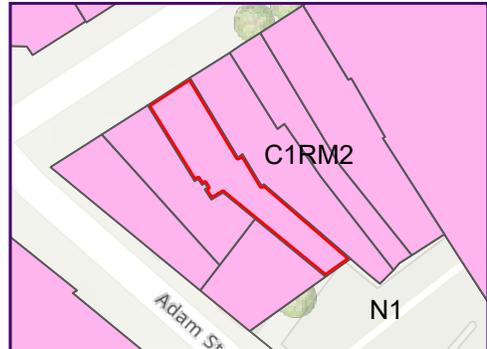
Street view of 6 Queen St E.



Aerial view of 6 Queen St E.



Surrounding zoning context



8 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 8 Queen St E.
Property Name: A.W. Panabaker Block
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: early 1880's
Past Use: Commercial, Residential
Current Use: Commercial, Residential
Materials: Brick (painted)

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

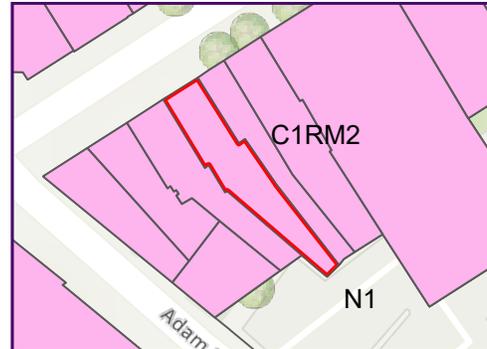
Street view of 8 Queen St E.



Aerial view of 8 Queen St E.



Surrounding zoning context



10 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 10 Queen St E.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Commercial

Current Use: Commercial, Residential

Materials: Yellow and Red brick

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

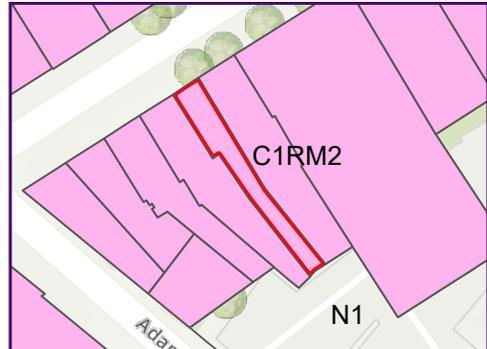
Street view of 10 Queen St E.



Aerial view of 10 Queen St E.



Surrounding zoning context



11 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 11 Queen St E.

Property Name: Conway Building

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: 1881

Past Use: Commercial, Residential

Current Use: Commercial, Residential

Materials: Yellow/brown brick (painted)

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

John Dumas Conway, listed as being a merchant, likely used the space to sell goods. His brother Ventry R. Conway was also a prominent figure in Hespeler for a period of time.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 11 Queen St E.



Aerial view of 11 Queen St E.



Surrounding zoning context



12 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 12 Queen St E.
Property Name: N/A
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Commercial
Current Use: Commercial
Materials: Stone

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

Upper storey was added between 2018-2019.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

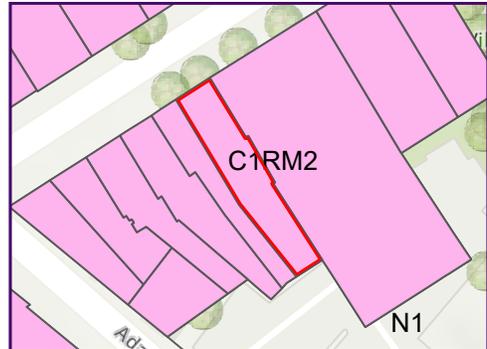
Street view of 12 Queen St E.



Aerial view of 12 Queen St E.



Surrounding zoning context



14-20 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 14-20 Queen St E.
Property Name: Henry's Block
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: 1901
Past Use: Commercial, Residential
Current Use: Commercial, Residential
Materials: Granite, Ashlar Limestone

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

Datestone below a frieze with a decorative relief pattern under the front eave (reads: Henry's Block, 1901)

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	Y	Y	Y	N	Y	Y	N

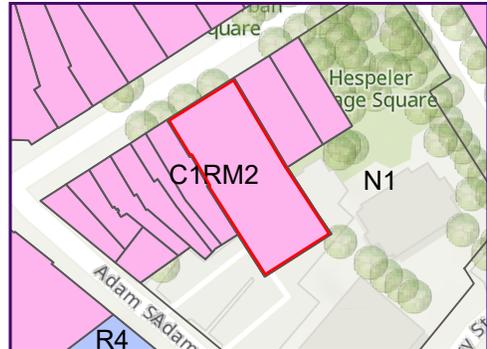
Street view of 14-20 Queen St E.



Aerial view of 14-20 Queen St E.



Surrounding zoning context



15 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 15 Queen St E.
 Property Name: Hagmeier Block
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: C.T. Groh
 Date of Construction: 1906-1910
 Past Use: Commercial, Residential
 Current Use: Commercial, Residential
 Materials: Brick

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

The two lower levels of the façade have been redone in their lifetime.

Built for Abraham Hagmeier, who owned the property and ran a store. Abraham Hagmeier (born March 13, 1854 in Germany) immigrated to Canada in 1881 and settled in Hespeler.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 15 Queen St E.



Aerial view of 15 Queen St E.



Surrounding zoning context



19 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 19 Queen St E.

Property Name: Zryd Block

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Christian Pabst

Date of Construction: 1857

Past Use: Hardware Store

Current Use: Commercial

Materials: Ashlar limestone

Zoning Information

Zoning Code: C1RM2 S.4.1.57

Zoning Type: COMMERCIAL

Additional Notes

Built for tinsmith John Zryd as a hardware store.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 19 Queen St E.



Aerial view of 19 Queen St E.



Surrounding zoning context



22 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 22 Queen St E.

Property Name: George E. Chapman Building

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: George E. Chapman

Date of Construction: 1870

Past Use: Post Office, Merchants Bank , Northcott's

Current Use: Commercial

Materials: Yellow and Red brick

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

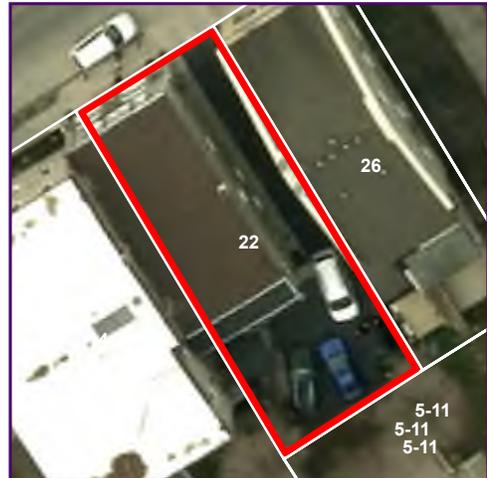
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

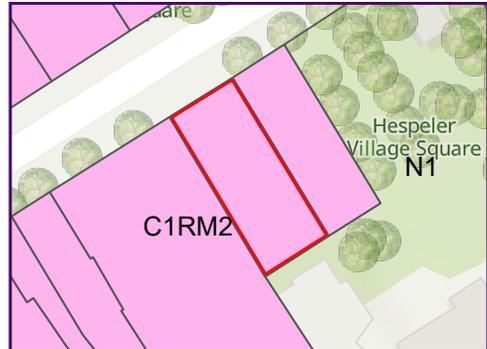
Street view of 22 Queen St E.



Aerial view of 22 Queen St E.



Surrounding zoning context



25 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 25 Queen St E.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Urban Square

Materials: N/A

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Lot between 19 and 29 Queen St. E.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 25 Queen St E.



Aerial view of 25 Queen St E.



Surrounding zoning context



26 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 26 Queen St E.
 Property Name: John Chapman Store, Merchants Bank

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1870
 Past Use: Bank of Montreal
 Current Use: Commercial
 Materials: Stone (plaster on facade)

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

Bank of Montreal moved into the building in 1907.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	N	Y	Y	N

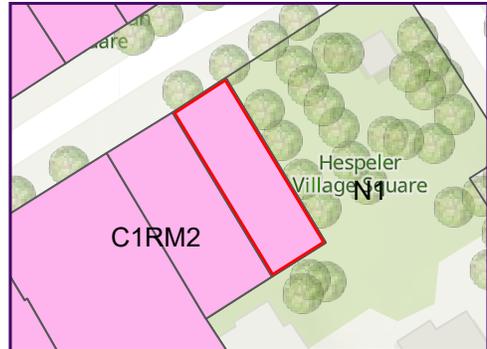
Street view of 26 Queen St E.



Aerial view of 26 Queen St E.



Surrounding zoning context



29 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 29 Queen St E.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1936

Past Use: Commercial, Residential

Current Use: Commercial, Residential

Materials: Plaster

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

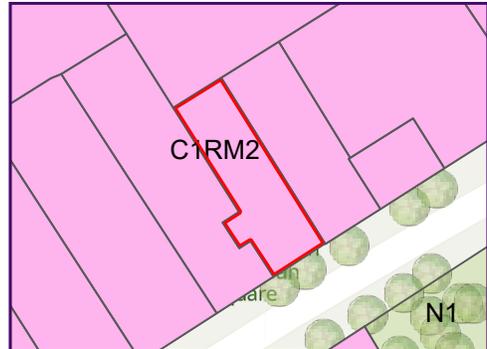
Street view of 29 Queen St E.



Aerial view of 29 Queen St E.



Surrounding zoning context



31 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 31 Queen St E.
Property Name: Hespeler Hotel Stable Building
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: 1847
Past Use: Stable
Current Use: Commercial, Residential
Materials: Concrete block, plaster

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

Bottom level has been remodeled in a 1960s-70s style.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

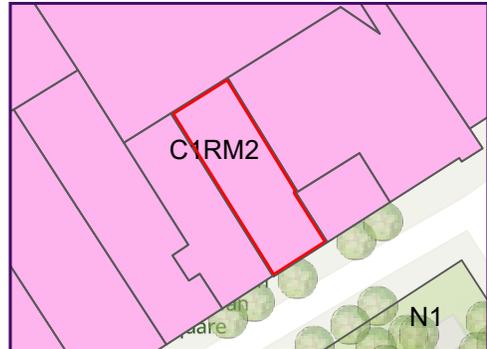
Street view of 31 Queen St E.



Aerial view of 31 Queen St E.



Surrounding zoning context



35 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 35 Queen St E.
Property Name: Hespeler Hotel Drive Sheds
Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown
Date of Construction: early 1900s
Past Use: Drive sheds for the Hespeler Hotel
Current Use: Commercial
Materials: Stone

Zoning Information

Zoning Code: C1RM2
Zoning Type: COMMERCIAL

Additional Notes

First floor facades have been updated to accommodate retail storefronts, this likely happened in the 1950s

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

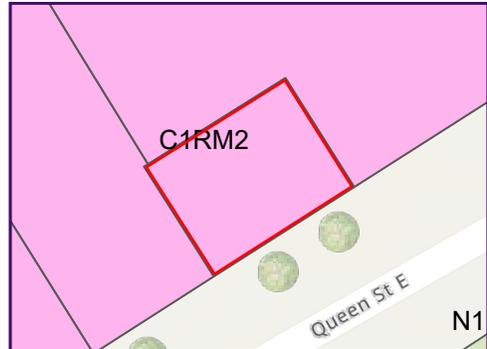
Street view of 35 Queen St E.



Aerial view of 35 Queen St E.



Surrounding zoning context



39 Queen St E.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 39 Queen St E.

Property Name: Hespeler Hotel

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Charles Siegle

Date of Construction: 1841-1847

Past Use: Hotel

Current Use: Commercial

Materials: Limestone

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Development saw the removal of much of Hespeler's historic downtown.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

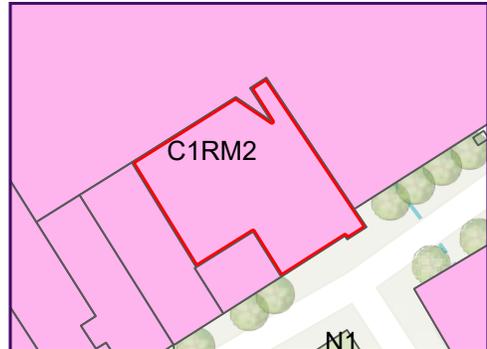
Street view of 39 Queen St E.



Aerial view of 39 Queen St E.



Surrounding zoning context



73 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 73 Queen St E.
 Property Name: St. Andrew's Presbyterian Church
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Taylor and Taylor
 Date of Construction: 1908-1910
 Past Use: Church
 Current Use: Church
 Materials: Limestone

Zoning Information

Zoning Code: N1 S.4.1.76
 Zoning Type: INSTITUTIONAL

Additional Notes

This church was designed by a Branford architectural firm. Taylor and Taylor, and was endowed by the Forbes family.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	Y	N	Y	Y	N

Street view of 73 Queen St E.



Aerial view of 73 Queen St E.



Surrounding zoning context



74 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 74 Queen St E.
 Property Name: Old Post Office/Fashion History Museum

Property Description

Builder/Architect: Thomas W. Fuller
 Date of Construction: 1928
 Past Use: Post Office
 Current Use: Fashion History Museum
 Materials: Brick

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

The building designed by P.W. Fuller in 1928 closes the Queen Street Vista.

In the early 1990's the post office closed for business and was converted for use as a commercial building.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

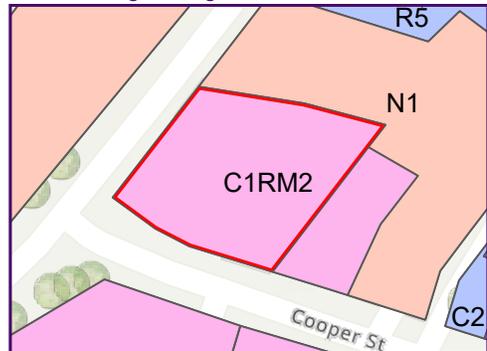
Street view of 74 Queen St E.



Aerial view of 74 Queen St E.



Surrounding zoning context



96 Queen St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 96 Queen St E.
 Property Name: St. James Lutheran Church
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: John Hoffman and Lewis Kribs
 Date of Construction: 1867
 Past Use: St. Jacob's German Lutheran Evangelical Church
 Current Use: Church

Zoning Information

Zoning Code: N1
 Zoning Type: INSTITUTIONAL

Additional Notes

Jacob Hespeler was a member of this church and contributed to its construction. However, it was John Hoffman and Lewis Kribs who built this church in the same year as Canada's confederation. Its original name was St. Jacob's Lutheran Evangelical Church.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	Y	N	Y	Y	Y	Y	Y	N

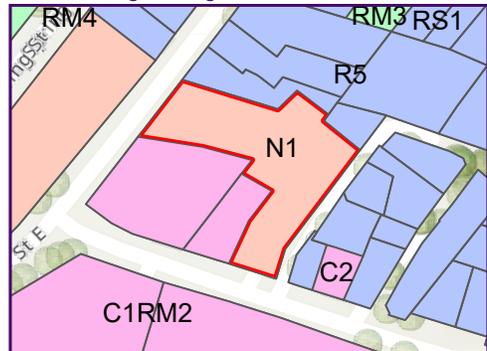
Street view of 96 Queen St E.



Aerial view of 96 Queen St E.



Surrounding zoning context



7 Queen St W.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 7 Queen St W.

Property Name: Queen's Hotel

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: 1891

Past Use: Hotel

Current Use: Hotel

Materials: Red and Yellow brick (painted over)

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Back of the building was a house incorporated into the hotel and is built of Ashlar limestone. Hotel component of the building is polychromatic brick

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

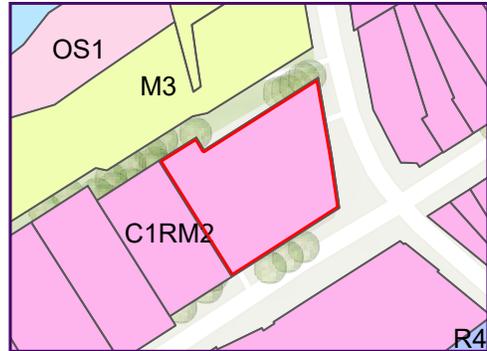
Street view of 7 Queen St W.



Aerial view of 7 Queen St W.



Surrounding zoning context



13 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 13 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Parking lot

Materials: N/A

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

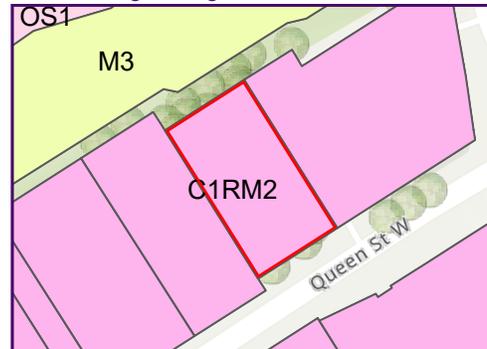
Street view of 13 Queen St W.



Aerial view of 13 Queen St W.



Surrounding zoning context



16 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 16 Queen St W.

Property Name: Mill Run Suites

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Glick's Hotel

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

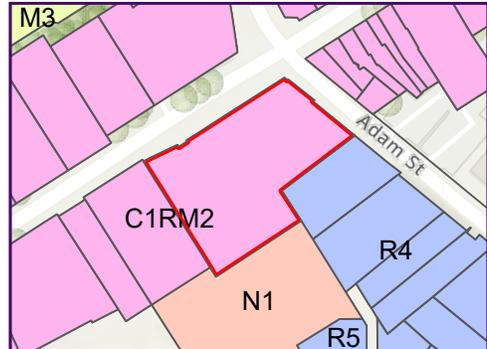
Street view of 16 Queen St W.



Aerial view of 16 Queen St W.



Surrounding zoning context



22 Queen St W.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 22 Queen St W.
 Property Name: Germania House Hotel - Ochs Block
 Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Christian Pabst & Dr. Anthony Ochs
 Date of Construction: 1863
 Past Use: Hotel, Fire Hall
 Current Use: Commercial, Residential
 Materials: Limestone & Yellow Brick

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

The limestone section of this commercial building was likely built by Christian Pabst, a mason from Preston.

 The entire block was remodelled by Dr. Ochs in the late 1890's.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

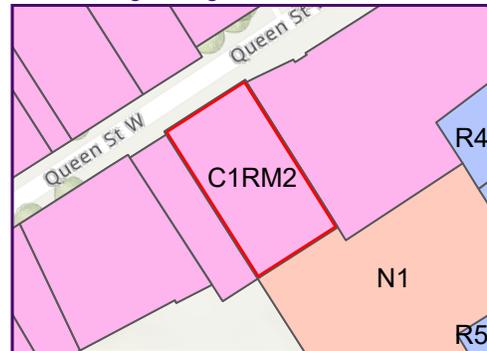
Street view of 22 Queen St W.



Aerial view of 22 Queen St W.



Surrounding zoning context



23 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 23 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Bank

Current Use: Bank

Materials: Precast concrete

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

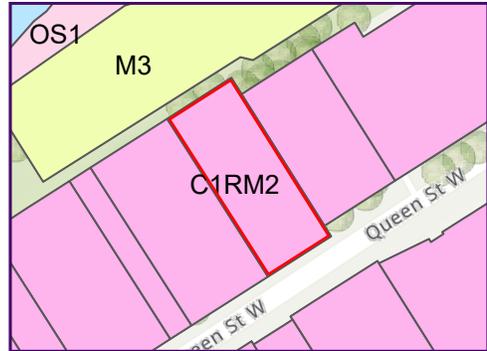
Street view of 23 Queen St W.



Aerial view of 23 Queen St W.



Surrounding zoning context



26 Queen St W.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 26 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Commercial, Residential

Current Use: Commercial, Residential

Materials: Stucco

Zoning Information

Zoning Code: C1RM2 S.4.2.29

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

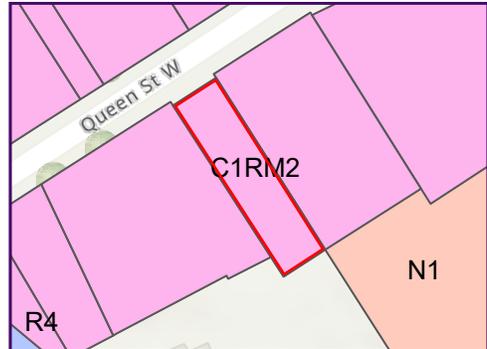
Street view of 26 Queen St W.



Aerial view of 26 Queen St W.



Surrounding zoning context



29 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 29 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: 1948

Past Use: Frank Scott's Red & White Grocer Store

Current Use: Little Shop Stop

Materials: Corrugated steel

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

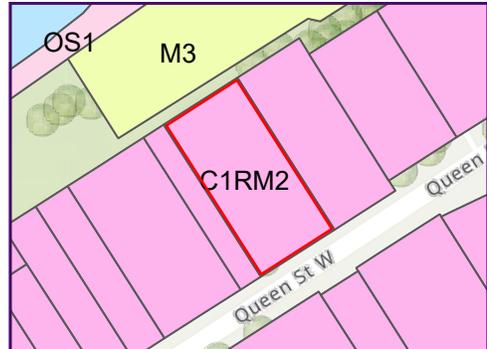
Street view of 29 Queen St W.



Aerial view of 29 Queen St W.



Surrounding zoning context



31 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 31 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

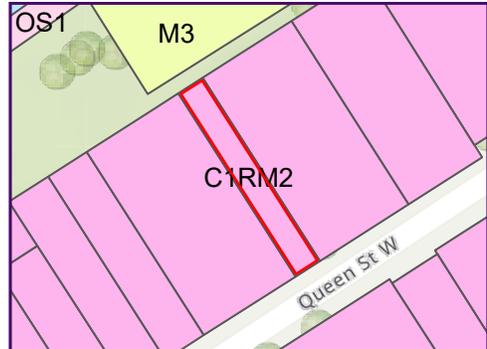
Street view of 31 Queen St W.



Aerial view of 31 Queen St W.



Surrounding zoning context



38 Queen St W.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 38 Queen St W.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: The Fitz Brothers

Date of Construction: 1950

Past Use: Playfair Bowling Alley

Current Use: Commercial

Materials: Brick (painted)

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	N	N

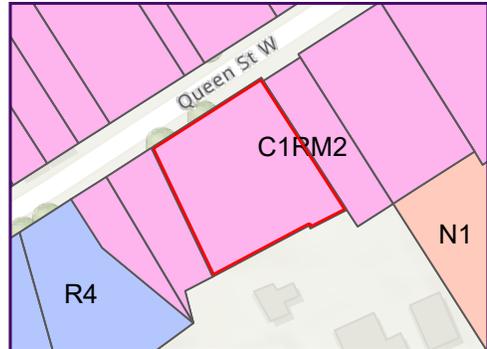
Street view of 38 Queen St W.



Aerial view of 38 Queen St W.



Surrounding zoning context



0 Spring St.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 0 Spring St.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: N/A

Past Use: N/A

Current Use: Empty Lot

Materials: N/A

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

Empty Lot

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	N	N

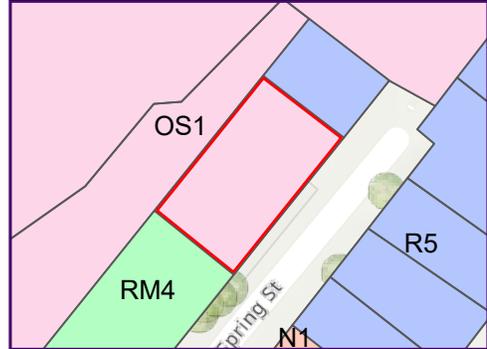
Street view of 0 Spring St.



Aerial view of 0 Spring St.



Surrounding zoning context



71 Spring St.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 71 Spring St.
 Property Name: Hespeler's Workers' Houses
 (Riverside Terrace)

Property Description

Builder/Architect: Jacob Hespeler
 Date of Construction: 1862
 Past Use: Riverside Terrace
 Current Use: Residential
 Materials: Limestone Rubblestone

Zoning Information

Zoning Code: RM4
 Zoning Type: MEDIUM HIGH DENSITY RESIDENTIAL

Additional Notes

The Georgian Townhouses, formerly referred to as Riverside Terrace, were constructed circa 1862 by Jacob Hespeler. The two storey building was intended to house workers from his nearby mill complex.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	N	Y	Y	N

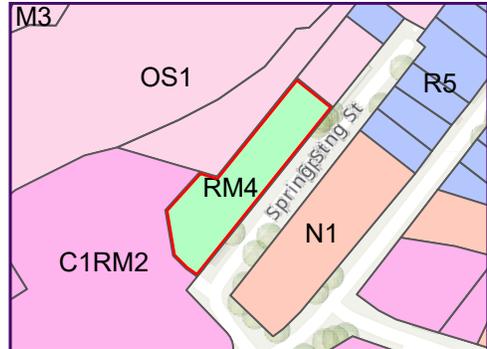
Street view of 71 Spring St.



Aerial view of 71 Spring St.



Surrounding zoning context



91 Spring St.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 91 Spring St.

Property Name: N/A

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

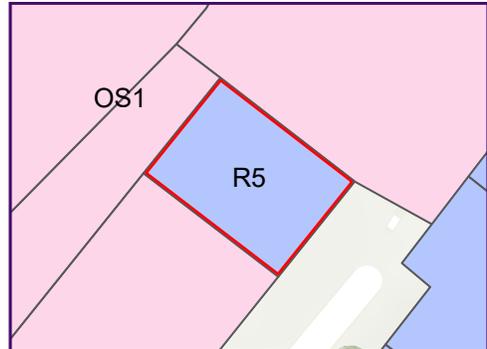
Street view of 91 Spring St.



Aerial view of 91 Spring St.



Surrounding zoning context



5 Tannery St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 5 Tannery St E.
 Property Name: Carnegie Library Building (now Hespeler Idea Exchange)

Property Description

Builder/Architect: A.H. Cober
 Date of Construction: 1921-1923, 2006
 Past Use: Library
 Current Use: Library
 Materials: Brick

Zoning Information

Zoning Code: N1
 Zoning Type: INSTITUTIONAL

Additional Notes

Glass addition around the original library was built in 2006.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	Y	Y	Y	N	Y	Y	N

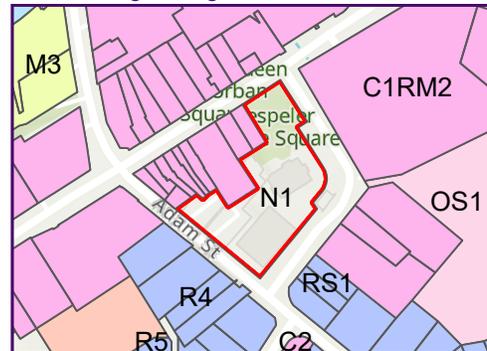
Street view of 5 Tannery St E.



Aerial view of 5 Tannery St E.



Surrounding zoning context



11 Tannery St E.

Commercial/Institutional Core

Contributing Property

General Information

Property Address: 11 Tannery St E.
 Property Name: Fire Station + Parking Lot (Also Hespeler Town Hall/Heritage centre)

Property Description

Builder/Architect: John Evans, Evans & Fulford
 Date of Construction: 1914-1915
 Past Use: Government, Town Hall
 Current Use: Government, Fire Station
 Materials: Brick

Zoning Information

Zoning Code: N1
 Zoning Type: INSTITUTIONAL

Additional Notes

The building was constructed in 1914, at a cost of \$35 000, from a design by John Evans of the architectural firm Evans and Fulford of Galt. Constructed in the Beaux Arts style, like the neighbouring library.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

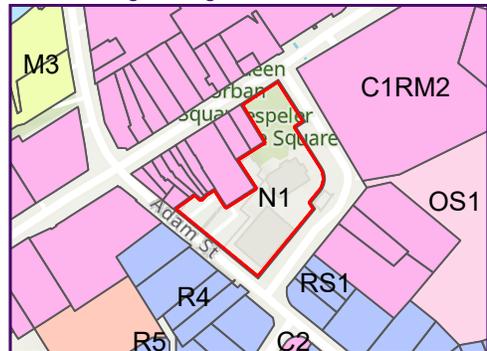
Street view of 11 Tannery St E.



Aerial view of 11 Tannery St E.



Surrounding zoning context



42 Tannery St E.

Commercial/Institutional Core

Non-Contributing Property

General Information

Property Address: 42 Tannery St E.

Property Name: Village Square

Heritage Character Area: Commercial/Institutional Core

Property Description

Builder/Architect: Unknown

Date of Construction: 1994

Past Use: Residential

Current Use: Commercial, Residential

Materials: Brick, concrete, vinyl siding

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Development saw the removal of much of Hespeler's historic downtown.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	N	N

Street view of 42 Tannery St E.



Aerial view of 42 Tannery St E.



Surrounding zoning context



5 Guelph Ave.

Former Industrial

Contributing Property

General Information

Property Address: 5 Guelph Ave.

Property Name: Hespeler Grist Mill and Malt House

Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Joseph Hespeler

Date of Construction: 1847

Past Use: Hespeler Grist and Cotton Mills

Current Use: Residential

Materials: Limestone Rubblestone

Zoning Information

Zoning Code: C1RM2 S.4.1.248

Zoning Type: COMMERCIAL

Additional Notes

Building cut in half during re-development

First industrial enterprise of Jacob Hespeler in New Hope, stands to record the early growth of Hespeler.

The mill, built in 1847, exhibits flat headed windows, a round arched attic gable window, quoins and brackets

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	Y	Y	Y	Y	Y	Y	N

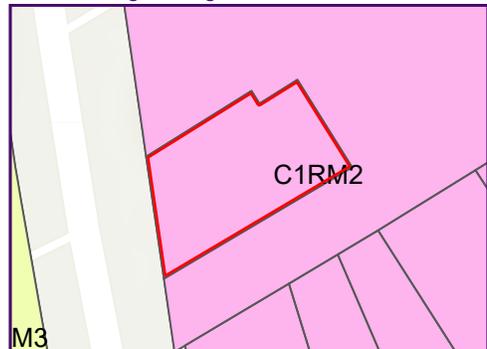
Street view of 5 Guelph Ave.



Aerial view of 5 Guelph Ave.



Surrounding zoning context



10 Guelph Ave.

Former Industrial

Non-Contributing Property

General Information

Property Address: 10 Guelph Ave.
Property Name: N/A
Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
Date of Construction: N/A
Past Use: N/A
Current Use: Empty Lot
Materials: N/A

Zoning Information

Zoning Code: M3
Zoning Type: INDUSTRIAL

Additional Notes

Lot is vacant and used as parking for 20 Guelph Avenue. (Same owner)

Sept 2024 Planning Justification submitted to merge 10 and 20 Guelph Avenue into a single property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	N	N

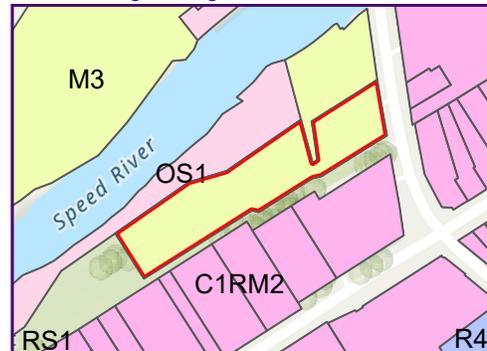
Street view of 10 Guelph Ave.



Aerial view of 10 Guelph Ave.



Surrounding zoning context



16 Guelph Ave.

Former Industrial

Non-Contributing Property

General Information

Property Address: 16 Guelph Ave.
Property Name: Queen St. Pumping Station
Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: N/A
Current Use: Pumping Station
Materials: Metal Siding

Zoning Information

Zoning Code: OS1
Zoning Type: OPEN SPACE

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	N	N

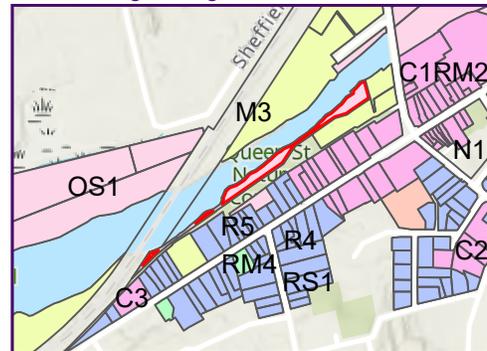
Street view of 16 Guelph Ave.



Aerial view of 16 Guelph Ave.



Surrounding zoning context



19 Guelph Ave.

Former Industrial

Contributing Property

General Information

Property Address: 19 Guelph Ave.
 Property Name: Hespeler Cotton Mill
 Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Joseph Hespeler
 Date of Construction: 1881
 Past Use: Hespeler Grist and Cotton Mills
 Current Use: Residential
 Materials: Coursed limestone

Zoning Information

Zoning Code: C1RM2 S.4.1.248
 Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	Y	Y	Y	Y	Y	Y	N

Street view of 19 Guelph Ave.



Aerial view of 19 Guelph Ave.



Surrounding zoning context



20 Guelph Ave.

Former Industrial

Contributing Property

General Information

Property Address: 20 Guelph Ave.

Property Name: N/A

Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Garage

Materials: Painted concrete block

Zoning Information

Zoning Code: M3

Zoning Type: INDUSTRIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

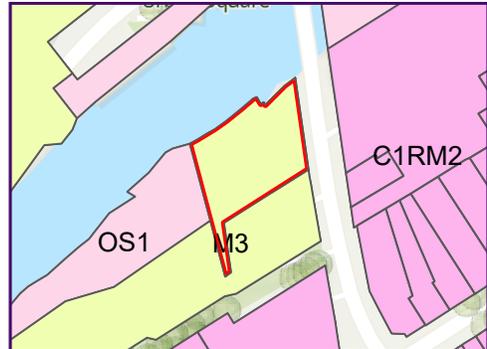
Street view of 20 Guelph Ave.



Aerial view of 20 Guelph Ave.



Surrounding zoning context



54 Guelph Ave.

Former Industrial

Contributing Property

General Information

Property Address: 54 Guelph Ave.
 Property Name: N/A
 Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
 Date of Construction: 1870
 Past Use: Industrial
 Current Use: Commercial
 Materials: Stone, Brick

Zoning Information

Zoning Code: M3
 Zoning Type: INDUSTRIAL

Additional Notes

Former A.B. Jardine Co. ca. 1870, blacksmiths supplies.

 Several additions have been made to the building, as well as alterations to the original façade

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	Y	N	N	Y	N

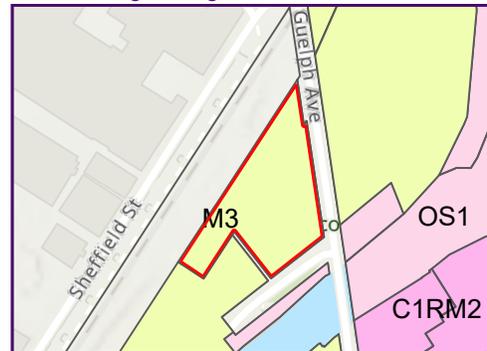
Street view of 54 Guelph Ave.



Aerial view of 54 Guelph Ave.



Surrounding zoning context



125 Guelph Ave.

Former Industrial

Contributing Property

General Information

Property Address: 125 Guelph Ave.
 Property Name: W.A. Kribs Co.
 Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Lewis Kribs
 Date of Construction: 1902
 Past Use: Simplicity Products Ltd. , W.A. Kribs Co.
 Current Use: Four Fathers Brewery
 Materials: Siding, brick beneath

Zoning Information

Zoning Code: M3
 Zoning Type: INDUSTRIAL

Additional Notes

Former Simplicity Products Ltd. , W.A. Kribs Co.

The Kribs family started operations in the 1880s with a planing and grist mill, first owned by Lewis Kribs and later by his son, William A. Kribs of Hespeler, Ontario. Kribs sawmill was first established on Forbes Street then moved to Guelph Avenue (origi

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	Y	Y	N	Y	Y	N

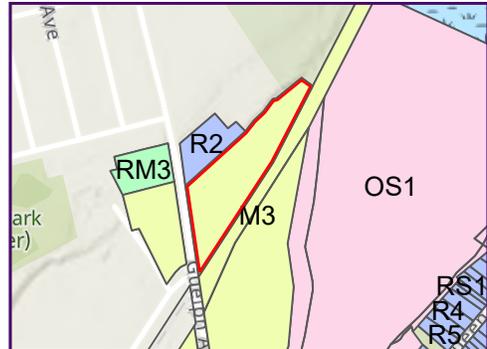
Street view of 125 Guelph Ave.



Aerial view of 125 Guelph Ave.



Surrounding zoning context



130 Guelph Ave.

Former Industrial

Non-Contributing Property

General Information

Property Address: 130 Guelph Ave.
Property Name: N/A
Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
Date of Construction: 1946
Past Use: Buehler Metal Co. , John Forsyth Shirt Co. ,
The Mill Outlet Store
Current Use: Commercial

Zoning Information

Zoning Code: M3
Zoning Type: INDUSTRIAL

Additional Notes

Building being demolished (Permit issued 2023)
Part of the Building may have been a section of the former Kribs saw and planing mill.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

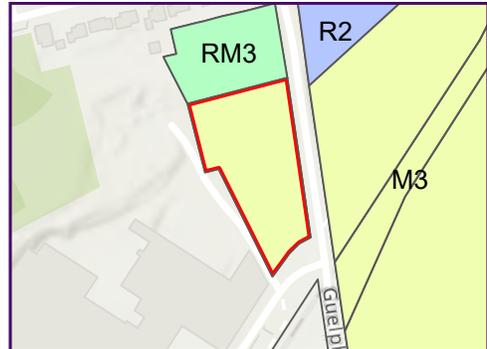
Street view of 130 Guelph Ave.



Aerial view of 130 Guelph Ave.



Surrounding zoning context



25 Milling Rd.

Former Industrial

Contributing Property

General Information

Property Address: 25 Milling Rd.
Property Name: Hespeler Furniture Co.
Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
Date of Construction: ca. 1901
Past Use: Furniture Manufacturing
Current Use: Commercial
Materials: Red brick

Zoning Information

Zoning Code: M3
Zoning Type: INDUSTRIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	N	Y	Y	N

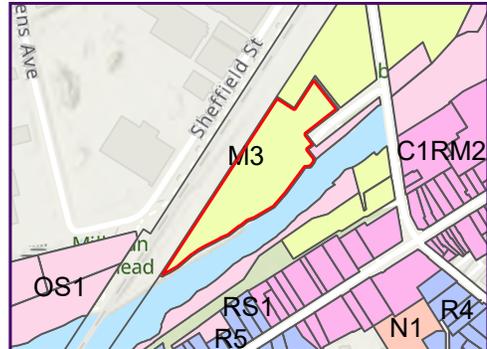
Street view of 25 Milling Rd.



Aerial view of 25 Milling Rd.



Surrounding zoning context



30 Milling Rd.

Former Industrial

Contributing Property

General Information

Property Address: 30 Milling Rd.

Property Name: Former Public Works Building
(Electrical Station)

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1910

Past Use: Public Works

Current Use: Vacant

Materials: Brick

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

Property may have been the location of the Hespeler Cooper Shop Building, which would have housed the fire department and lockup (ca. 1886). Property was converted to an electrical station (ca. 1910)

Key location on Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 30 Milling Rd.



Aerial view of 30 Milling Rd.



Surrounding zoning context



49 Queen St E.

Former Industrial

Contributing Property

General Information

Property Address: 49 Queen St E.
 Property Name: Riverview Lofts
 Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Mill
 Current Use: Residential
 Materials: Precast concrete

Zoning Information

Zoning Code: C1RM2 S.4.1.248
 Zoning Type: COMMERCIAL

Additional Notes

Riverview Lofts: Building is non-contributing, however property is contextually significant given placement on Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

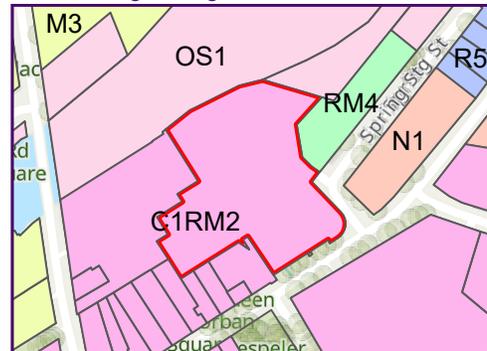
Street view of 49 Queen St E.



Aerial view of 49 Queen St E.



Surrounding zoning context



211 Queen St W.

Former Industrial

Contributing Property

General Information

Property Address: 211 Queen St W.
 Property Name: Silkknit-Lower Mill Complex
 Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Joseph Oberholtzer
 Date of Construction: 1863 (1875)
 Past Use: Dominion Wollens & Worsteds Mill
 Current Use: Commercial
 Materials: Limestone Rubblestone

Zoning Information

Zoning Code: M3 S.4.1.24.1
 Zoning Type: INDUSTRIAL

Additional Notes

National Historic Site

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	Y	Y	Y	N

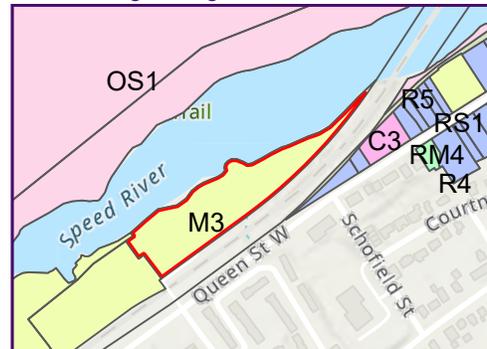
Street view of 211 Queen St W.



Aerial view of 211 Queen St W.



Surrounding zoning context



215 Queen St W.

Former Industrial

Contributing Property

General Information

Property Address: 215 Queen St W.
Property Name: Silkknit-Lower Mill Complex
Heritage Character Area: Former Industrial

Property Description

Builder/Architect: Joseph Oberholtzer
Date of Construction: 1863 (1875)
Past Use: Dominion Wollens & Worsteds Mill
Current Use: Commercial
Materials: Limestone Rubblestone

Zoning Information

Zoning Code: M3 S.4.1.24.1
Zoning Type: INDUSTRIAL

Additional Notes

National Historic Site

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	Y	Y	Y	N

Street view of 215 Queen St W.



Aerial view of 215 Queen St W.



Surrounding zoning context



241 Queen St W.

Former Industrial

Contributing Property

General Information

Property Address: 241 Queen St W.
 Property Name: The property was was part of
 Dominion Textiles/ Silknit Textile Mill

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Industrial
 Current Use: Vacant
 Materials: N/A

Zoning Information

Zoning Code: M3
 Zoning Type: INDUSTRIAL

Additional Notes

This property was part of the Dominion-Woolens/Silknit Mill which was integral in the industrial foundation of Hespeler. The property meets contextual value as it is historically linked to its surroundings.

The Speed River is a major tributary of the Grand River. The Grand River basin was of critical importance to Indigenous Nations and was the focus for traditional land use activities, such as fishing and hunting. The property meets contextual criteria in supporting the character of the area, especially in terms of its location on the Speed River and its links to it.

Adjacent to Part IV Designated 215 Queen Street West (Silknit Lower Mill Complex, By-law 353-87) -/National Historic Site - Forbes Textile Mill (Historic Sites and Monuments Act (R.S.C., 1985, c. H-4).-The Speed River is a Canadian Heritage River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

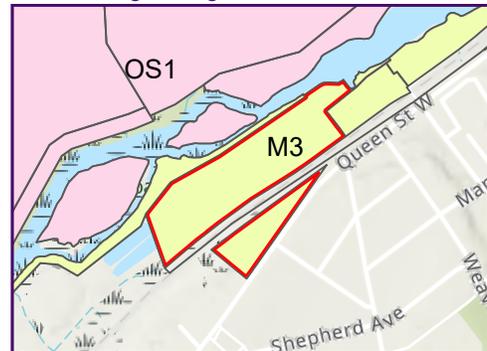
Street view of 241 Queen St W.



Aerial view of 241 Queen St W.



Surrounding zoning context



12 Adam St.

Residential

Contributing Property

General Information

Property Address: 12 Adam St.
 Property Name: Michael Bergey House
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1870
 Past Use: Residential
 Current Use: Residential
 Materials: Stone

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Believed to have been built for Michael Bergey, founder of Bergeytown (later Hespeler).

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	Y	Y	Y	N

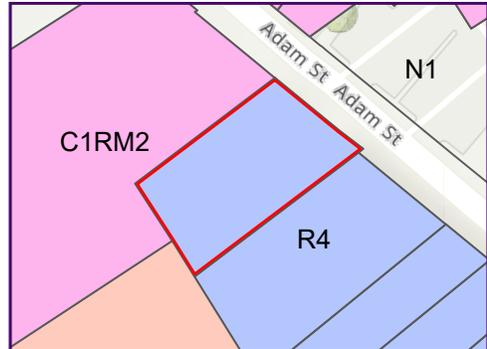
Street view of 12 Adam St.



Aerial view of 12 Adam St.



Surrounding zoning context



20 Adam St.

Residential

Non-Contributing Property

General Information

Property Address: 20 Adam St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Vinyl siding

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

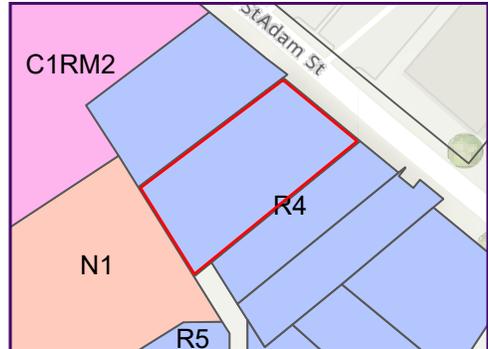
Street view of 20 Adam St.



Aerial view of 20 Adam St.



Surrounding zoning context



24 Adam St.

Residential

Contributing Property

General Information

Property Address: 24 Adam St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

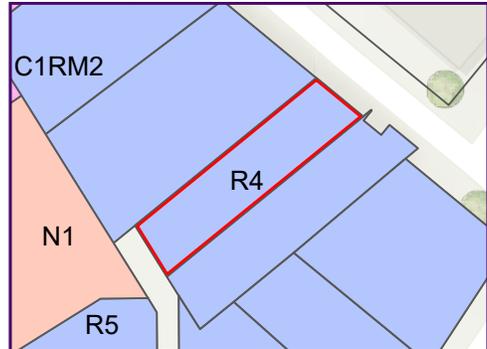
Street view of 24 Adam St.



Aerial view of 24 Adam St.



Surrounding zoning context



28 Adam St.

Residential

Non-Contributing Property

General Information

Property Address: 28 Adam St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 28 Adam St.



Aerial view of 28 Adam St.



Surrounding zoning context



32 Adam St.

Residential

Contributing Property

General Information

Property Address: 32 Adam St.
Property Name: Edward Bolduc House
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: ca. 1867
Past Use: Residential
Current Use: Residential
Materials: Red and Yellow brick

Zoning Information

Zoning Code: R4(CO) S.4.2.53
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The home is built in the same brick technique used on the Queen's Hotel. Although uncommon in Hespeler the technique itself was fashionable at the time this house was built at the turn of the century.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 32 Adam St.



Aerial view of 32 Adam St.



Surrounding zoning context



42 Adam St.

Residential

Non-Contributing Property

General Information

Property Address: 42 Adam St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: N/A
 Current Use: Bell Telephone Station
 Materials: Red brick

Zoning Information

Zoning Code: C2
 Zoning Type: COMMERCIAL

Additional Notes

Property contextual significance is linked to its surrounding at important intersection in downtown Hespeler.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

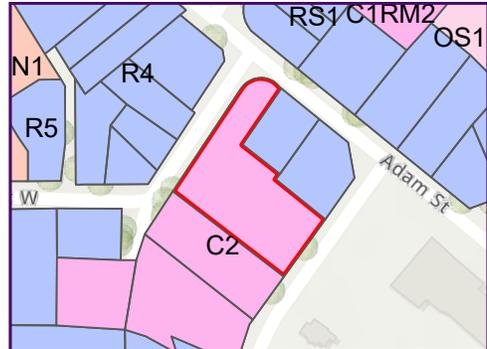
Street view of 42 Adam St.



Aerial view of 42 Adam St.



Surrounding zoning context



45 Adam St.

Residential

Non-Contributing Property

General Information

Property Address: 45 Adam St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Yellow brick

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property contextual significance is linked to its surrounding location in downtown Hespeler.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

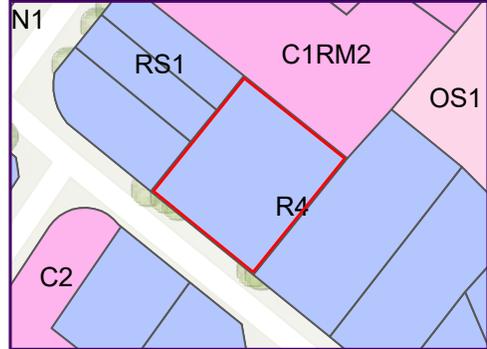
Street view of 45 Adam St.



Aerial view of 45 Adam St.



Surrounding zoning context



46 Adam St.

Residential

Contributing Property

General Information

Property Address: 46 Adam St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Commercial

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property contextual significance is linked to its surrounding location in downtown Hespeler.

Property form characteristic of early Hespeler buildings.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 46 Adam St.



Aerial view of 46 Adam St.



Surrounding zoning context



52 Adam St.

Residential

Contributing Property

General Information

Property Address: 52 Adam St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick (painted over)

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

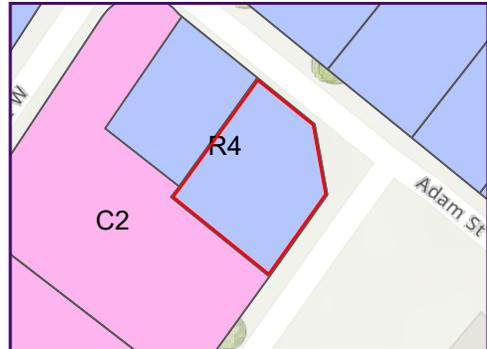
Street view of 52 Adam St.



Aerial view of 52 Adam St.



Surrounding zoning context



55 Adam St.

Residential

Contributing Property

General Information

Property Address: 55 Adam St.
 Property Name: Pebbledash house
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1890
 Past Use: Residential
 Current Use: Residential
 Materials: Pebbledash (covered with siding)

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Listed on the City of Cambridge Heritage Register.
 Early Form of Hespeler Housing.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

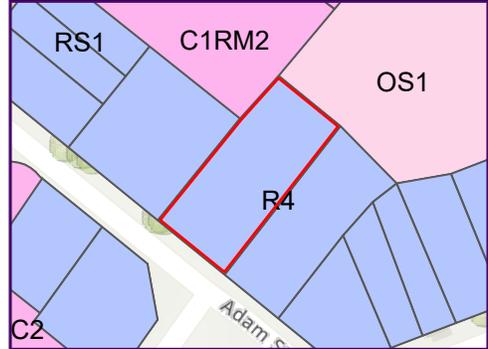
Street view of 55 Adam St.



Aerial view of 55 Adam St.



Surrounding zoning context



59 Adam St.

Residential

Contributing Property

General Information

Property Address: 59 Adam St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

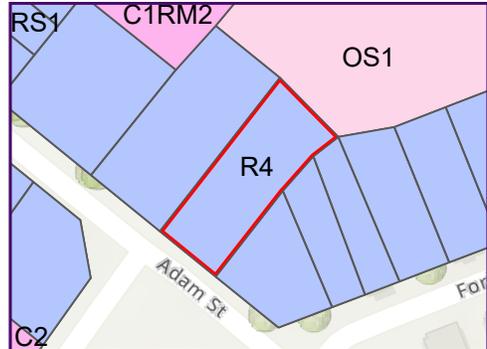
Street view of 59 Adam St.



Aerial view of 59 Adam St.



Surrounding zoning context



25 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 25 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Parking Lot

Materials: N/A

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Vacant lot next to 27 Cooper

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 25 Cooper St.



Aerial view of 25 Cooper St.



Surrounding zoning context



27 Cooper St.

Residential

Contributing Property

General Information

Property Address: 27 Cooper St.

Property Name: Underground Gallery

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Commercial

Current Use: Gallery

Materials: Painted concrete block

Zoning Information

Zoning Code: C2(O)

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

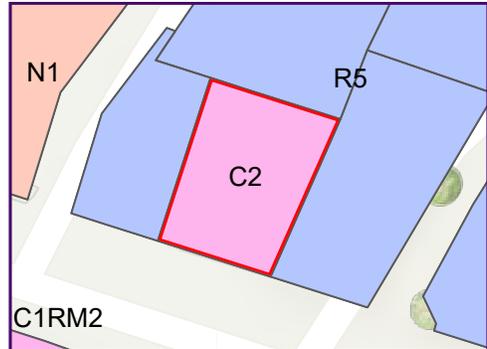
Street view of 27 Cooper St.



Aerial view of 27 Cooper St.



Surrounding zoning context



31 Cooper St.

Residential

Contributing Property

General Information

Property Address: 31 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Mixed

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 31 Cooper St.



Aerial view of 31 Cooper St.



Surrounding zoning context



35 Cooper St.

Residential

Contributing Property

General Information

Property Address: 35 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Stucco

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

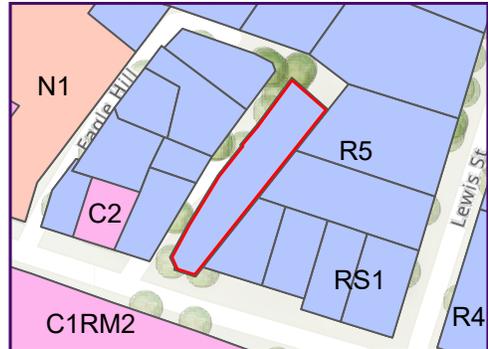
Street view of 35 Cooper St.



Aerial view of 35 Cooper St.



Surrounding zoning context



39 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 39 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Mixed

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 39 Cooper St.



Aerial view of 39 Cooper St.



Surrounding zoning context



41 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 41 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 41 Cooper St.



Aerial view of 41 Cooper St.



Surrounding zoning context



45 Cooper St.

Residential

Contributing Property

General Information

Property Address: 45 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 47 Cooper

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

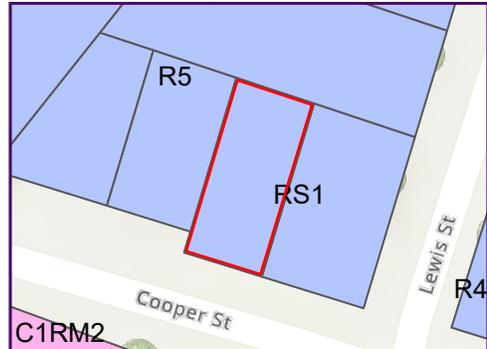
Street view of 45 Cooper St.



Aerial view of 45 Cooper St.



Surrounding zoning context



47 Cooper St.

Residential

Contributing Property

General Information

Property Address: 47 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 45 Cooper

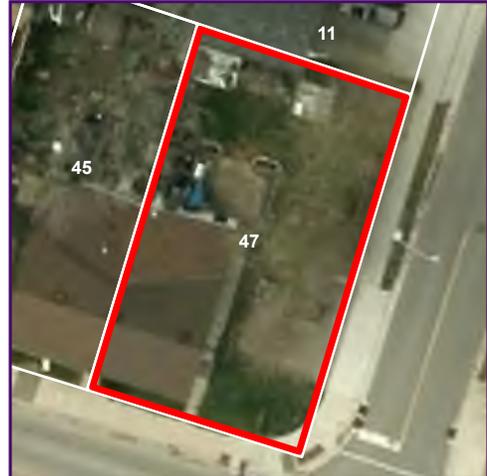
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 47 Cooper St.



Aerial view of 47 Cooper St.



Surrounding zoning context



50 Cooper St.

Residential

Contributing Property

General Information

Property Address: 50 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red Brick/Siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 52 Cooper

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

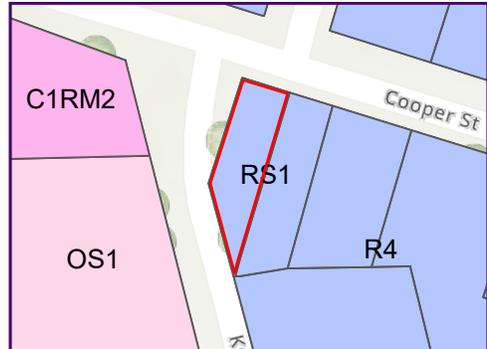
Street view of 50 Cooper St.



Aerial view of 50 Cooper St.



Surrounding zoning context



52 Cooper St.

Residential

Contributing Property

General Information

Property Address: 52 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red Brick/Siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 50 Cooper

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

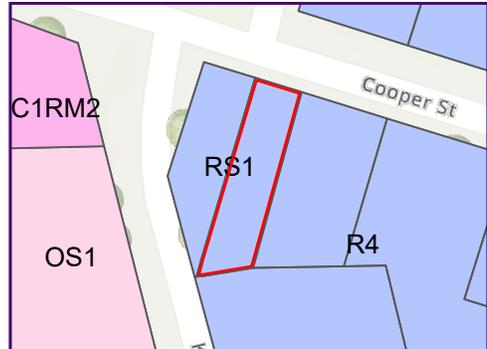
Street view of 52 Cooper St.



Aerial view of 52 Cooper St.



Surrounding zoning context



55 Cooper St.

Residential

Contributing Property

General Information

Property Address: 55 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1868

Past Use: Residential

Current Use: Residential

Materials: Plaster (now covered in siding)

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 55 Cooper St.



Aerial view of 55 Cooper St.



Surrounding zoning context



56 Cooper St.

Residential

Contributing Property

General Information

Property Address: 56 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1870

Past Use: Residential

Current Use: Residential

Materials: Limestone rubblestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 56 Cooper St.



Aerial view of 56 Cooper St.



Surrounding zoning context



60 Cooper St.

Residential

Contributing Property

General Information

Property Address: 60 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1890

Past Use: Residential

Current Use: Residential

Materials: Limestone rubblestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 60 Cooper St.



Aerial view of 60 Cooper St.



Surrounding zoning context



61 Cooper St.

Residential

Contributing Property

General Information

Property Address: 61 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 61 Cooper St.



Aerial view of 61 Cooper St.



Surrounding zoning context



65 Cooper St.

Residential

Contributing Property

General Information

Property Address: 65 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 65 Cooper St.



Aerial view of 65 Cooper St.



Surrounding zoning context



66 Cooper St.

Residential

Contributing Property

General Information

Property Address: 66 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1870

Past Use: Residential

Current Use: Residential

Materials: Limestone rubblestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 66 Cooper St.



Aerial view of 66 Cooper St.



Surrounding zoning context



70 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 70 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Commercial

Current Use: Commercial

Materials: Beige brick

Zoning Information

Zoning Code: C2(O)

Zoning Type: COMMERCIAL

Additional Notes

Property adjacent to Forbes Park Entry off of Cooper

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

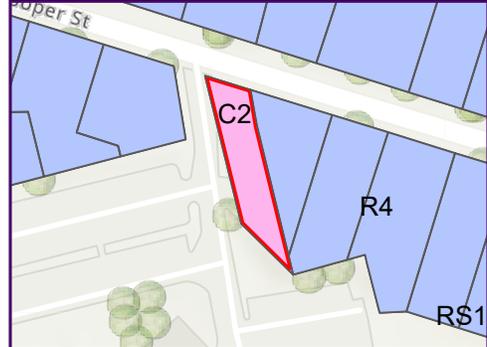
Street view of 70 Cooper St.



Aerial view of 70 Cooper St.



Surrounding zoning context



71 Cooper St.

Residential

Contributing Property

General Information

Property Address: 71 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 71 Cooper St.



Aerial view of 71 Cooper St.



Surrounding zoning context



80 Cooper St.

Residential

Contributing Property

General Information

Property Address: 80 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

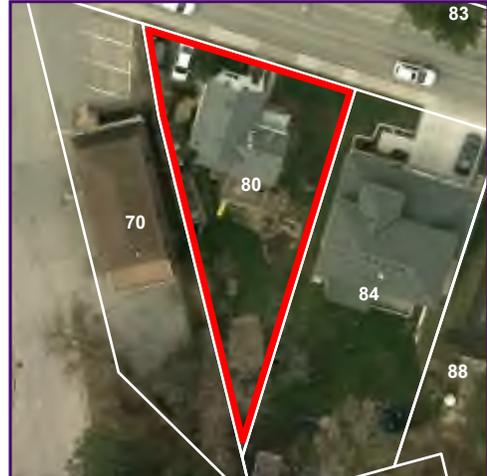
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 80 Cooper St.



Aerial view of 80 Cooper St.



Surrounding zoning context



81 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 81 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brown brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

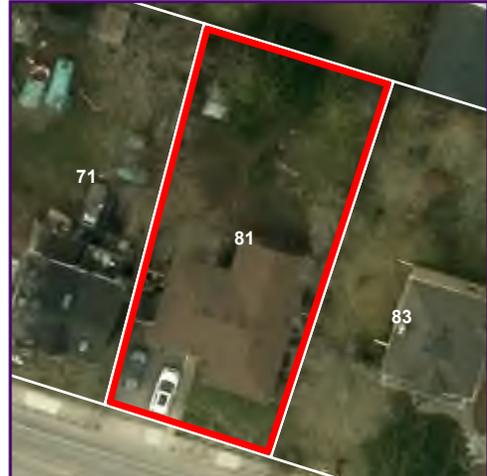
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 81 Cooper St.



Aerial view of 81 Cooper St.



Surrounding zoning context



83 Cooper St.

Residential

Contributing Property

General Information

Property Address: 83 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Yellow Brick

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 83 Cooper St.



Aerial view of 83 Cooper St.



Surrounding zoning context



84 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 84 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

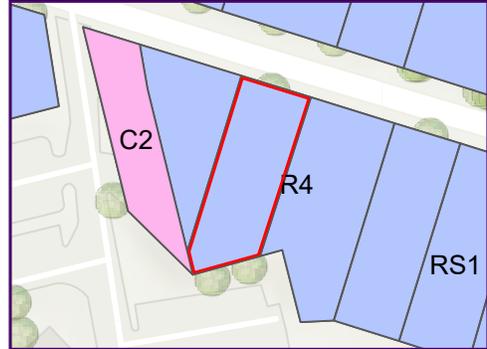
Street view of 84 Cooper St.



Aerial view of 84 Cooper St.



Surrounding zoning context



87 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 87 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 87 Cooper St.



Aerial view of 87 Cooper St.



Surrounding zoning context



88 Cooper St.

Residential

Contributing Property

General Information

Property Address: 88 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Arts and Crafts style Cottage.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

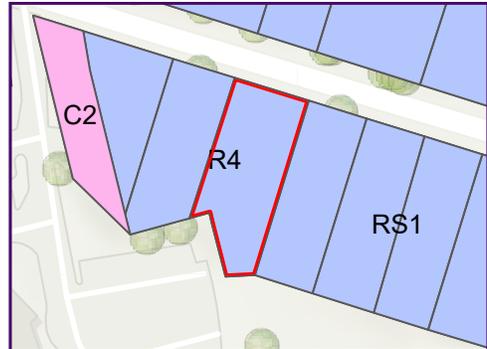
Street view of 88 Cooper St.



Aerial view of 88 Cooper St.



Surrounding zoning context



91 Cooper St.

Residential

Contributing Property

General Information

Property Address: 91 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1880

Past Use: Residential

Current Use: Residential

Materials: "Ashlar" plaster with aluminum siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The property is noteworthy for its historical significance, having belonged to four prominent Hespeler citizens. Lewis Kribs, who owned the building from 1879-1889, was a contractor, sawmill owner and miller (Holm Flour Mill). Subsequently the property b

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	y	Y	N	Y	Y	N

Street view of 91 Cooper St.



Aerial view of 91 Cooper St.



Surrounding zoning context



92 Cooper St.

Residential

Contributing Property

General Information

Property Address: 92 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form and property are contextual significance.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 92 Cooper St.



Aerial view of 92 Cooper St.



Surrounding zoning context



98 Cooper St.

Residential

Contributing Property

General Information

Property Address: 98 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form and property are contextual significance.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 98 Cooper St.



Aerial view of 98 Cooper St.



Surrounding zoning context



99 Cooper St.

Residential

Contributing Property

General Information

Property Address: 99 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Distinct Corner Lot.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 99 Cooper St.



Aerial view of 99 Cooper St.



Surrounding zoning context



100 Cooper St.

Residential

Contributing Property

General Information

Property Address: 100 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Plaster

Zoning Information

Zoning Code: RS1
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form and property are contextual significance.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 100 Cooper St.



Aerial view of 100 Cooper St.



Surrounding zoning context



104 Cooper St.

Residential

Contributing Property

General Information

Property Address: 104 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: ca. 1880
Past Use: Residential
Current Use: Residential
Materials: Limestone & Granite

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 104 Cooper St.



Aerial view of 104 Cooper St.



Surrounding zoning context



108 Cooper St.

Residential

Contributing Property

General Information

Property Address: 108 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: RS1
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler
Sympathetic Addition
Mature Trees

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 108 Cooper St.



Aerial view of 108 Cooper St.



Surrounding zoning context



109 Cooper St.

Residential

Contributing Property

General Information

Property Address: 109 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Wood siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Yellow Brick
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 109 Cooper St.



Aerial view of 109 Cooper St.



Surrounding zoning context



115 Cooper St.

Residential

Contributing Property

General Information

Property Address: 115 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Limestone

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of early Hespeler construction.
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 115 Cooper St.



Aerial view of 115 Cooper St.



Surrounding zoning context



120 Cooper St.

Residential

Contributing Property

General Information

Property Address: 120 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Early Property in development of Hespeler
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 120 Cooper St.



Aerial view of 120 Cooper St.



Surrounding zoning context



121 Cooper St.

Residential

Contributing Property

General Information

Property Address: 121 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Stone

Zoning Information

Zoning Code: RS1
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Cottage has early design elements, modified over time.
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 121 Cooper St.



Aerial view of 121 Cooper St.



Surrounding zoning context



123 Cooper St.

Residential

Contributing Property

General Information

Property Address: 123 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Stone

Zoning Information

Zoning Code: RS1
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Attached property to 121 Cooper.
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

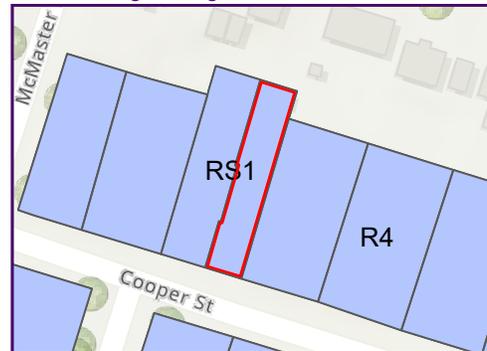
Street view of 123 Cooper St.



Aerial view of 123 Cooper St.



Surrounding zoning context



125 Cooper St.

Residential

Contributing Property

General Information

Property Address: 125 Cooper St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1884

Past Use: Residential

Current Use: Residential

Materials: Granite Rubblestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

This granite rubblestone, Italianate-Georgian house also has limestone Welsh arches heading segmentally arched windows

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 125 Cooper St.



Aerial view of 125 Cooper St.



Surrounding zoning context



126 Cooper St.

Residential

Contributing Property

General Information

Property Address: 126 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Tuck-pointed granite

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

A heavily mortared 'tuck pointed" granite, Edwardian house

Early Property in development of Hespeler

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 126 Cooper St.



Aerial view of 126 Cooper St.



Surrounding zoning context



130 Cooper St.

Residential

Contributing Property

General Information

Property Address: 130 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

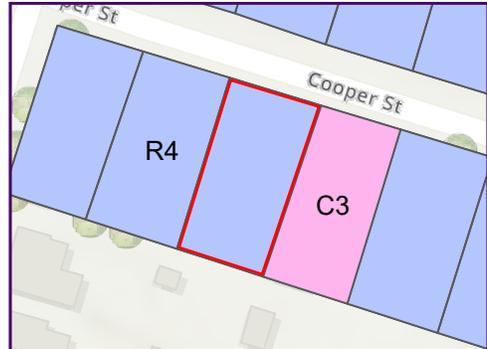
Street view of 130 Cooper St.



Aerial view of 130 Cooper St.



Surrounding zoning context



131 Cooper St.

Residential

Contributing Property

General Information

Property Address: 131 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Granite rubblestone

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

A heavily mortared granite rubblestone, High Victorian Gothic with limestone voussiors over windows
Early Property in development of Hespeler
Mature Tree on property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 131 Cooper St.



Aerial view of 131 Cooper St.



Surrounding zoning context



136 Cooper St.

Residential

Contributing Property

General Information

Property Address: 136 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: -1890
Past Use: Residential
Current Use: Commercial, Residential
Materials: Plaster, faux stone

Zoning Information

Zoning Code: C3
Zoning Type: COMMERCIAL

Additional Notes

Old Carr's Dairy (last former dairy to still exist in Cambridge - Confirm)

Addition added to the side for commercial purposes.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	N	N	Y	Y	N

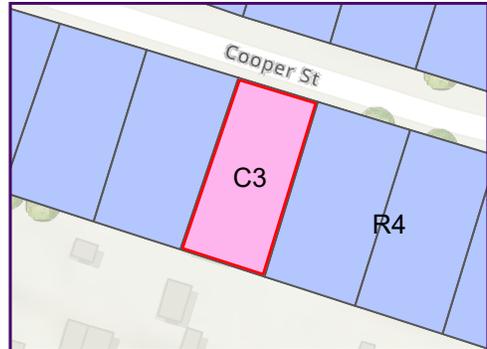
Street view of 136 Cooper St.



Aerial view of 136 Cooper St.



Surrounding zoning context



137 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 137 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Red brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 137 Cooper St.



Aerial view of 137 Cooper St.



Surrounding zoning context



139 Cooper St.

Residential

Non-Contributing Property

General Information

Property Address: 139 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Red brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

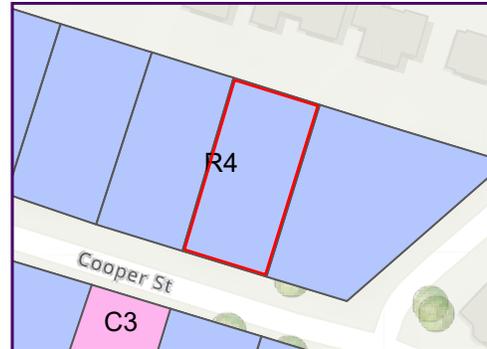
Street view of 139 Cooper St.



Aerial view of 139 Cooper St.



Surrounding zoning context



140 Cooper St.

Residential

Contributing Property

General Information

Property Address: 140 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Faux stone siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Elements of property indicate early construction, modified over time.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

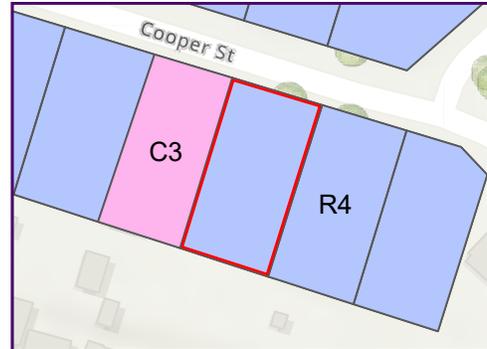
Street view of 140 Cooper St.



Aerial view of 140 Cooper St.



Surrounding zoning context



145 Cooper St.

Residential

Contributing Property

General Information

Property Address: 145 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Brick (painted)

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

This property appears to have qualities of an early farm house.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 145 Cooper St.



Aerial view of 145 Cooper St.



Surrounding zoning context



146 Cooper St.

Residential

Contributing Property

General Information

Property Address: 146 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of early Hespeler construction - in brick.
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 146 Cooper St.



Aerial view of 146 Cooper St.



Surrounding zoning context



152 Cooper St.

Residential

Contributing Property

General Information

Property Address: 152 Cooper St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 152 Cooper St.



Aerial view of 152 Cooper St.



Surrounding zoning context



7 Eagle Hill.

Residential

Non-Contributing Property

General Information

Property Address: 7 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 7 Eagle Hill.



Aerial view of 7 Eagle Hill.



Surrounding zoning context



11 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 11 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Road right of way

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 11 Eagle Hill.



Aerial view of 11 Eagle Hill.



Surrounding zoning context



15 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 15 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Painted block

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 15 Eagle Hill.



Aerial view of 15 Eagle Hill.



Surrounding zoning context



20 Eagle Hill.

Residential

Non-Contributing Property

General Information

Property Address: 20 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 20 Eagle Hill.



Aerial view of 20 Eagle Hill.



Surrounding zoning context



24 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 24 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Yellow Brick

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 24 Eagle Hill.



Aerial view of 24 Eagle Hill.



Surrounding zoning context



30 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 30 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

Prominent viewscapes over Hespeler downtown.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 30 Eagle Hill.



Aerial view of 30 Eagle Hill.



Surrounding zoning context



39 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 39 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Empty Lot

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

This property has evidence of an early shape and form, however many modifications over time

Important view lines to downtown.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

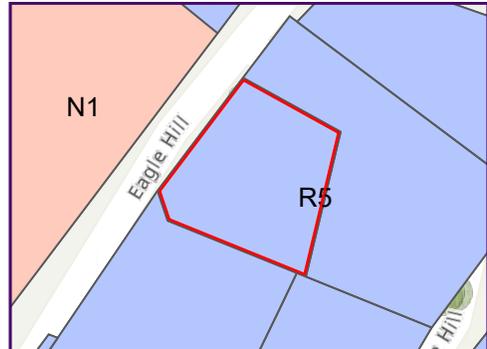
Street view of 39 Eagle Hill.



Aerial view of 39 Eagle Hill.



Surrounding zoning context



40 Eagle Hill.

Residential

Contributing Property

General Information

Property Address: 40 Eagle Hill.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 40 Eagle Hill.



Aerial view of 40 Eagle Hill.



Surrounding zoning context



1 Elizabeth St.

Residential

Non-Contributing Property

General Information

Property Address: 1 Elizabeth St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Semi-detached property with 3 Elizabeth

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

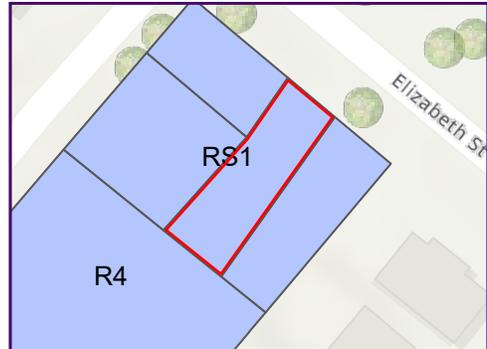
Street view of 1 Elizabeth St.



Aerial view of 1 Elizabeth St.



Surrounding zoning context



3 Elizabeth St.

Residential

Non-Contributing Property

General Information

Property Address: 3 Elizabeth St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Semi-detached property with 1 Elizabeth

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 3 Elizabeth St.



Aerial view of 3 Elizabeth St.



Surrounding zoning context



1 Forbes St.

Residential

Contributing Property

General Information

Property Address: 1 Forbes St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

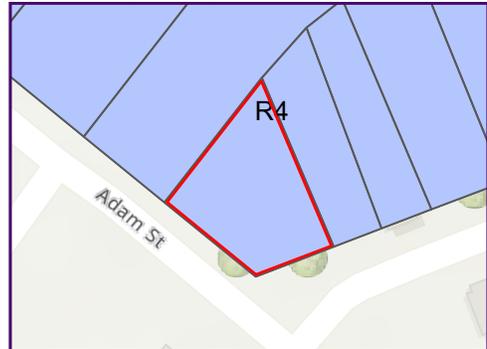
Street view of 1 Forbes St.



Aerial view of 1 Forbes St.



Surrounding zoning context



5 Forbes St.

Residential

Contributing Property

General Information

Property Address: 5 Forbes St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 5 Forbes St.



Aerial view of 5 Forbes St.



Surrounding zoning context



7 Forbes St.

Residential

Contributing Property

General Information

Property Address: 7 Forbes St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Siding

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
 Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

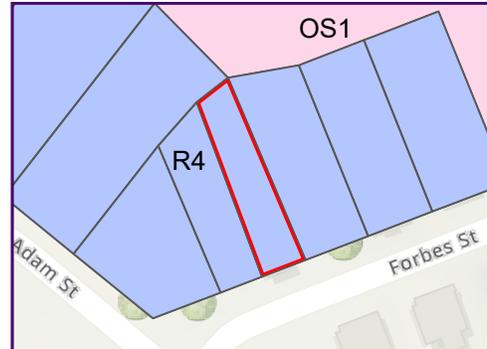
Street view of 7 Forbes St.



Aerial view of 7 Forbes St.



Surrounding zoning context



9 Forbes St.

Residential

Contributing Property

General Information

Property Address: 9 Forbes St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Vinyl siding

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The form of this house is somewhat challenging to assess for architectural characteristics typical of Hespeler, however the lot is important.

Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

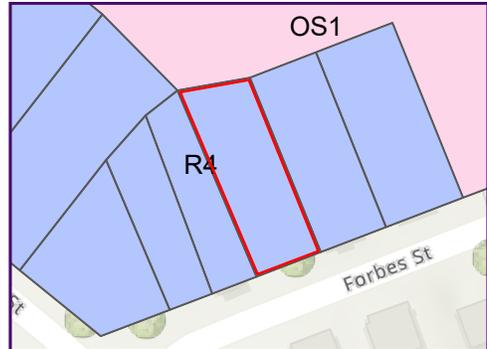
Street view of 9 Forbes St.



Aerial view of 9 Forbes St.



Surrounding zoning context



13 Forbes St.

Residential

Contributing Property

General Information

Property Address: 13 Forbes St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Faux stone siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

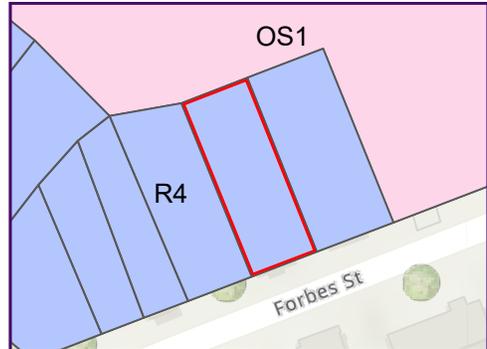
Street view of 13 Forbes St.



Aerial view of 13 Forbes St.



Surrounding zoning context



19 Forbes St.

Residential

Contributing Property

General Information

Property Address: 19 Forbes St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.
Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

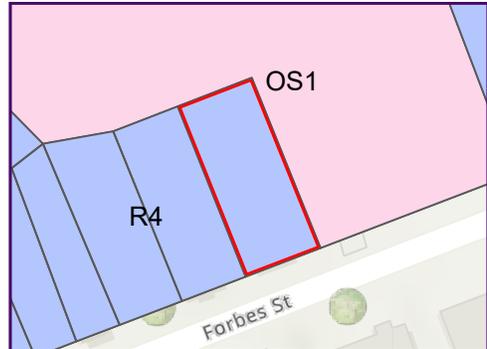
Street view of 19 Forbes St.



Aerial view of 19 Forbes St.



Surrounding zoning context



33 Forbes St.

Residential

Contributing Property

General Information

Property Address: 33 Forbes St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4(CO) S.4.1.130

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

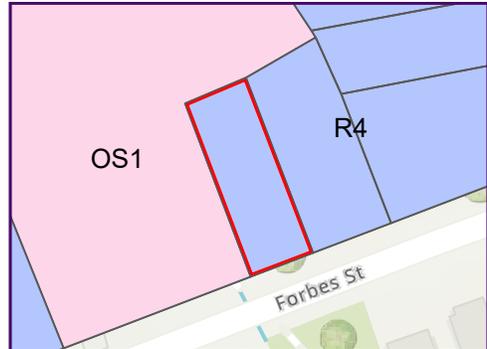
Street view of 33 Forbes St.



Aerial view of 33 Forbes St.



Surrounding zoning context



37 Forbes St.

Residential

Contributing Property

General Information

Property Address: 37 Forbes St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1897

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

Property is Adjacent to Forbes Park, Part IV designation.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

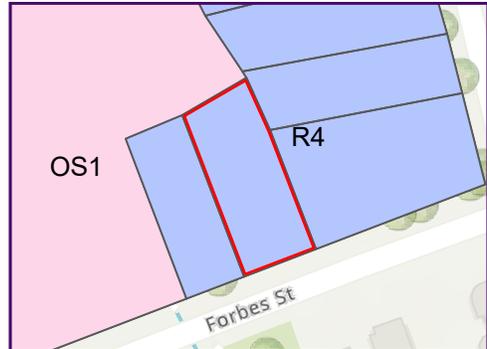
Street view of 37 Forbes St.



Aerial view of 37 Forbes St.



Surrounding zoning context



1760 Franklin Blvd.

Residential

Contributing Property

General Information

Property Address: 1760 Franklin Blvd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form of house has contextual value.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

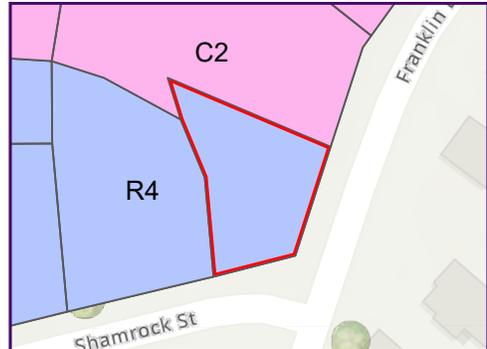
Street view of 1760 Franklin Blvd.



Aerial view of 1760 Franklin Blvd.



Surrounding zoning context



1766 Franklin Blvd.

Residential

Non-Contributing Property

General Information

Property Address: 1766 Franklin Blvd.
Property Name: Lounsbury Funeral Home
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: 1906
Past Use: Stager House
Current Use: Funeral Home
Materials: Red brick, faux stone

Zoning Information

Zoning Code: C2
Zoning Type: COMMERCIAL

Additional Notes

Lounsbury Funeral Home, previously the Stager House. Property has been heavily modified. Original House built ca. 1906.

Addition added to the front of the building in the 1960s.
Addition added to the rear of the building in 2000.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

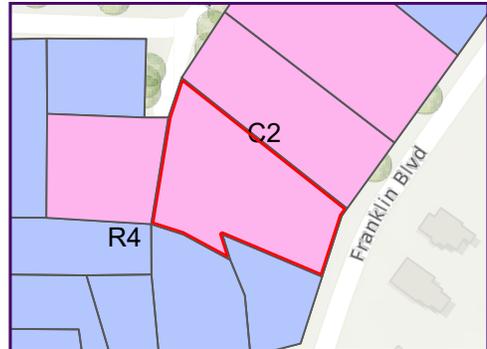
Street view of 1766 Franklin Blvd.



Aerial view of 1766 Franklin Blvd.



Surrounding zoning context



1770 Franklin Blvd.

Residential

Contributing Property

General Information

Property Address: 1770 Franklin Blvd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Tuck pointed stone block

Zoning Information

Zoning Code: C2

Zoning Type: COMMERCIAL

Additional Notes

Mature Trees/Vegetation on Property.

Variety of Architectural Influences

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

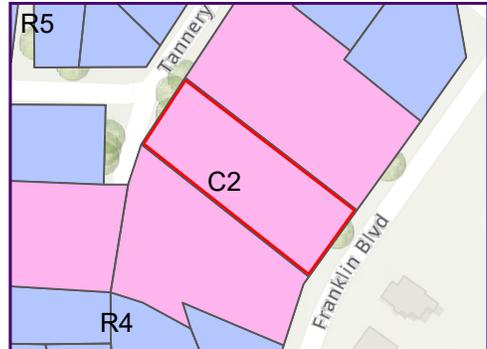
Street view of 1770 Franklin Blvd.



Aerial view of 1770 Franklin Blvd.



Surrounding zoning context



151 Guelph Ave.

Residential

Contributing Property

General Information

Property Address: 151 Guelph Ave.
 Property Name: Kribs-Barbour House
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1900
 Past Use: Residential
 Current Use: Residential
 Materials: Red glazed brick

Zoning Information

Zoning Code: R2
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Kribs-Barber House, red glazed brick, bowed verandah and balcony
 Adjacency to Forbes Estate
 Mature trees/vegetation on property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	N	Y	Y	N

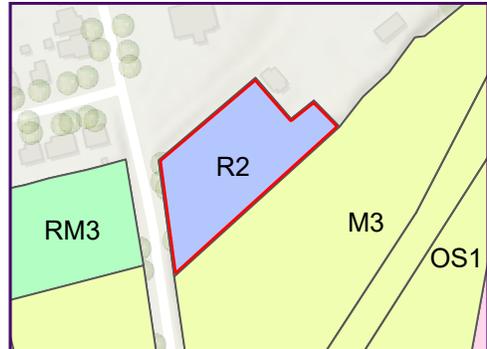
Street view of 151 Guelph Ave.



Aerial view of 151 Guelph Ave.



Surrounding zoning context



152 Guelph Ave.

Residential

Contributing Property

General Information

Property Address: 152 Guelph Ave.

Property Name: Jacob Hespeler's House - Cambridge
Coombe Orphanage

Property Description

Builder/Architect: Unknown

Date of Construction: 1858

Past Use: Orphanage, Jacob Hespeler House

Current Use: Residential

Materials: Ashlar limestone

Zoning Information

Zoning Code: RM3

Zoning Type: MEDIUM HIGH DENSITY RESIDENTIAL

Additional Notes

Jacob Hespeler's House - Cambridge Coombe Orphanage

House has been modified over the years

Mature trees/vegetation on property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	Y	Y	Y	N

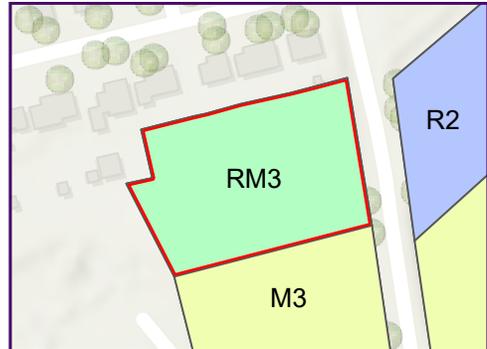
Street view of 152 Guelph Ave.



Aerial view of 152 Guelph Ave.



Surrounding zoning context



10 Harvey St.

Residential

Contributing Property

General Information

Property Address: 10 Harvey St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form and shape of this house is characteristic of Hespeler.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 10 Harvey St.



Aerial view of 10 Harvey St.



Surrounding zoning context



13 Harvey St.

Residential

Contributing Property

General Information

Property Address: 13 Harvey St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: 1875
Past Use: Residential
Current Use: Residential
Materials: Red polychromatic brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Red polychromatic brick house, 2-storey, quoin, built for Harvey family

Harvey is noted as a Baker in Hespeler (unconfirmed)

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	Y	N	Y	Y	N

Street view of 13 Harvey St.



Aerial view of 13 Harvey St.



Surrounding zoning context



15 Harvey St.

Residential

Non-Contributing Property

General Information

Property Address: 15 Harvey St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Red brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

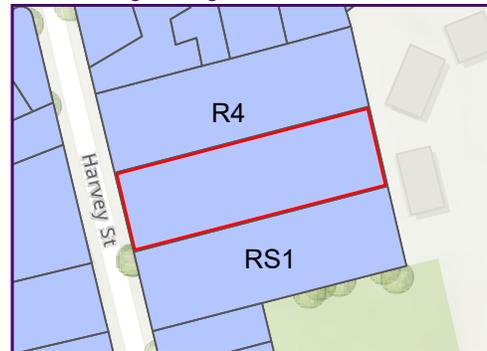
Street view of 15 Harvey St.



Aerial view of 15 Harvey St.



Surrounding zoning context



18 Harvey St.

Residential

Contributing Property

General Information

Property Address: 18 Harvey St.
Property Name: St. Mathew's Cathedral
Heritage Character Area: Residential

Property Description

Builder/Architect: Lewis Kribs
Date of Construction: 1893
Past Use: Anglican Church
Current Use: Metropolitan Cathedral Church
Materials: Yellow Buff Brick

Zoning Information

Zoning Code: R4 S.4.1.244
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Building was once a church and is now being used as a residential property.

Ecclesiological Gothic Revival, originally St. James Anglican Church

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	Y	Y	Y	N

Street view of 18 Harvey St.



Aerial view of 18 Harvey St.



Surrounding zoning context



22 Harvey St.

Residential

Contributing Property

General Information

Property Address: 22 Harvey St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1890
 Past Use: Residential
 Current Use: Residential
 Materials: Yellow Brick

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Yellow brick house, 2-storey, Italianate, arched windows with voussiors, bay windows front and right side

Mature Trees on Property.

Buff Brick

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

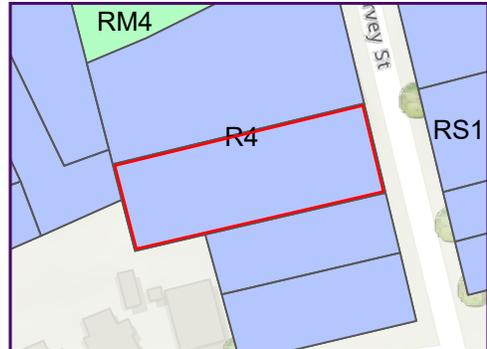
Street view of 22 Harvey St.



Aerial view of 22 Harvey St.



Surrounding zoning context



23 Harvey St.

Residential

Contributing Property

General Information

Property Address: 23 Harvey St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Mennonite builders

Date of Construction: 1894

Past Use: Manse for St. Andrew's Presbyterian Church

Current Use: Residential

Materials: Yellow Brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Manse for St. Andrew's Presbyterian Church, Mennonite builders, yellow brick, 2-storey, octagonal corner

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

Street view of 23 Harvey St.



Aerial view of 23 Harvey St.



Surrounding zoning context



26 Harvey St.

Residential

Contributing Property

General Information

Property Address: 26 Harvey St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Faux stone siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form is in line with characteristics of the area.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 26 Harvey St.



Aerial view of 26 Harvey St.



Surrounding zoning context



27 Harvey St.

Residential

Contributing Property

General Information

Property Address: 27 Harvey St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brown brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 29 Harvey

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

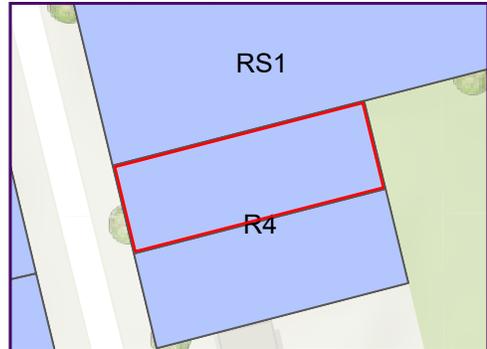
Street view of 27 Harvey St.



Aerial view of 27 Harvey St.



Surrounding zoning context



29 Harvey St.

Residential

Contributing Property

General Information

Property Address: 29 Harvey St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use:

Current Use:

Materials:

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 27 Harvey

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

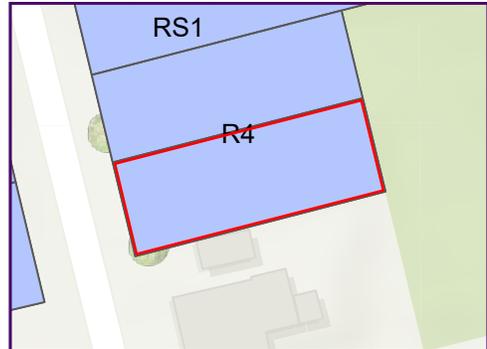
Street view of 29 Harvey St.



Aerial view of 29 Harvey St.



Surrounding zoning context



30 Harvey St.

Residential

Contributing Property

General Information

Property Address: 30 Harvey St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

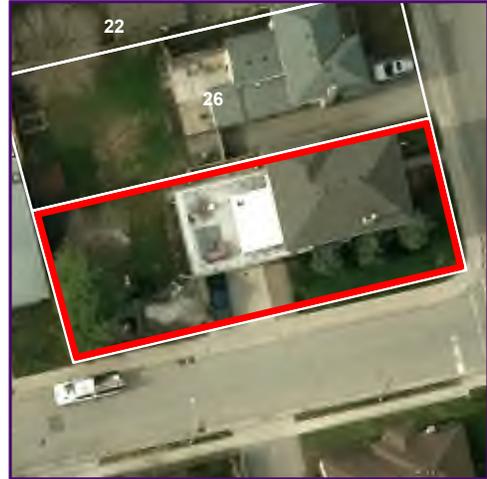
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

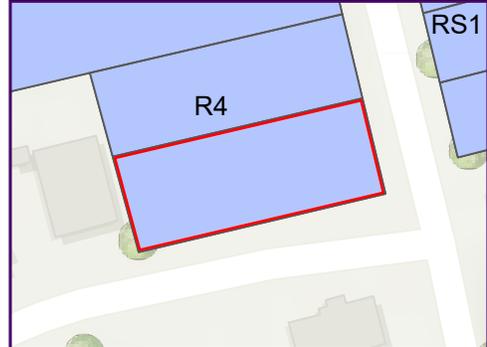
Street view of 30 Harvey St.



Aerial view of 30 Harvey St.



Surrounding zoning context



9 Hungerford Rd.

Residential

Contributing Property

General Information

Property Address: 9 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 9 Hungerford Rd.



Aerial view of 9 Hungerford Rd.



Surrounding zoning context



14 Hungerford Rd.

Residential

Non-Contributing Property

General Information

Property Address: 14 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick and wood siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 16 Hungerford

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

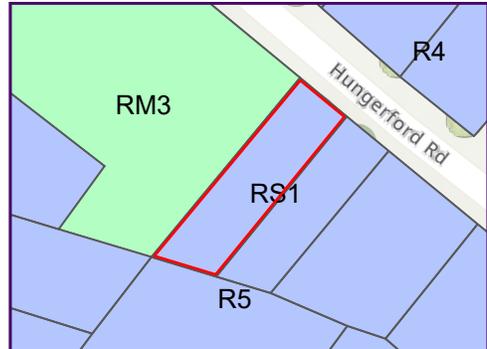
Street view of 14 Hungerford Rd.



Aerial view of 14 Hungerford Rd.



Surrounding zoning context



15 Hungerford Rd.

Residential

Non-Contributing Property

General Information

Property Address: 15 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 15 Hungerford Rd.



Aerial view of 15 Hungerford Rd.



Surrounding zoning context



16 Hungerford Rd.

Residential

Non-Contributing Property

General Information

Property Address: 16 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick and wood siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 16 Hungerford

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 16 Hungerford Rd.



Aerial view of 16 Hungerford Rd.



Surrounding zoning context



19 Hungerford Rd.

Residential

Contributing Property

General Information

Property Address: 19 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 19 Hungerford Rd.



Aerial view of 19 Hungerford Rd.



Surrounding zoning context



22 Hungerford Rd.

Residential

Contributing Property

General Information

Property Address: 22 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 22 Hungerford Rd.



Aerial view of 22 Hungerford Rd.



Surrounding zoning context



28 Hungerford Rd.

Residential

Contributing Property

General Information

Property Address: 28 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 28 Hungerford Rd.



Aerial view of 28 Hungerford Rd.



Surrounding zoning context



34 Hungerford Rd.

Residential

Contributing Property

General Information

Property Address: 34 Hungerford Rd.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

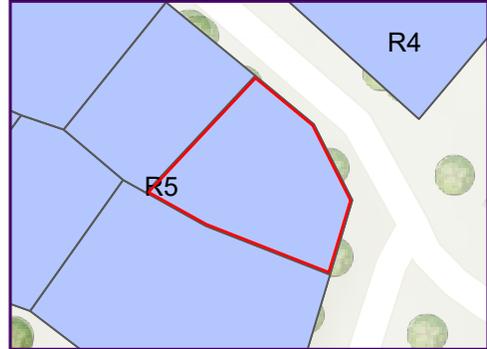
Street view of 34 Hungerford Rd.



Aerial view of 34 Hungerford Rd.



Surrounding zoning context



40 Keffer St.

Residential

Contributing Property

General Information

Property Address: 40 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

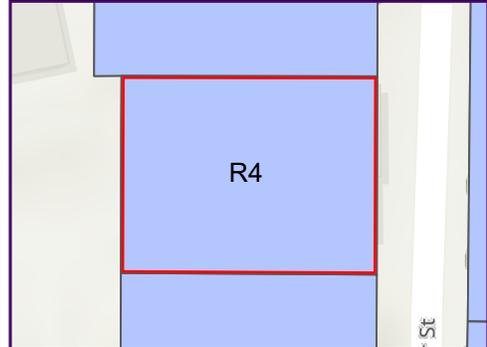
Street view of 40 Keffer St.



Aerial view of 40 Keffer St.



Surrounding zoning context



45 Keffer St.

Residential

Contributing Property

General Information

Property Address: 45 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Wood siding (aged/weathered)

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

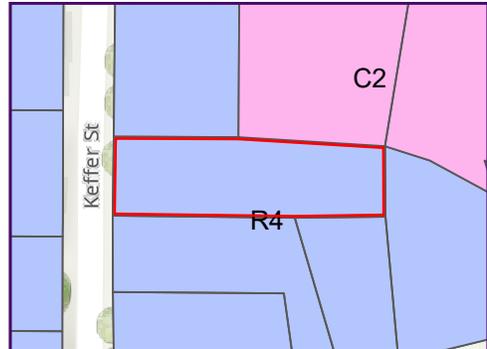
Street view of 45 Keffer St.



Aerial view of 45 Keffer St.



Surrounding zoning context



46 Keffer St.

Residential

Contributing Property

General Information

Property Address: 46 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

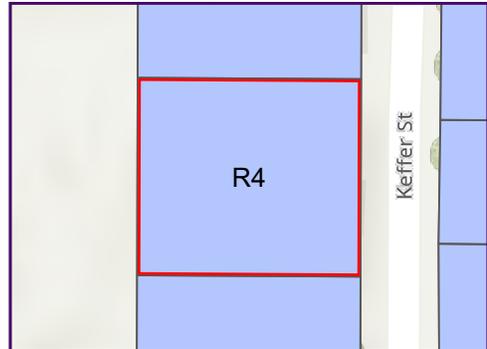
Street view of 46 Keffer St.



Aerial view of 46 Keffer St.



Surrounding zoning context



49 Keffer St.

Residential

Contributing Property

General Information

Property Address: 49 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick (painted)

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

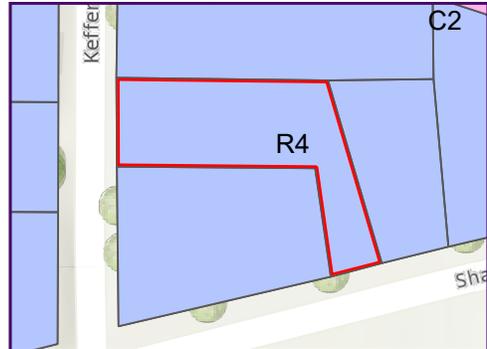
Street view of 49 Keffer St.



Aerial view of 49 Keffer St.



Surrounding zoning context



54 Keffer St.

Residential

Non-Contributing Property

General Information

Property Address: 54 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

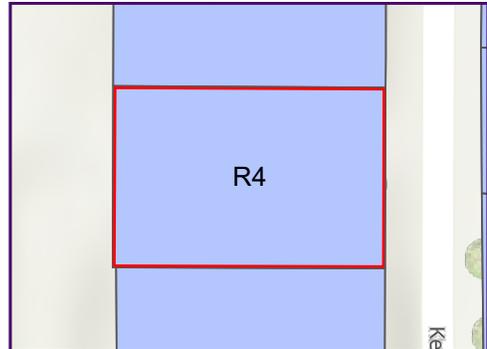
Street view of 54 Keffer St.



Aerial view of 54 Keffer St.



Surrounding zoning context



55 Keffer St.

Residential

Contributing Property

General Information

Property Address: 55 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Stone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

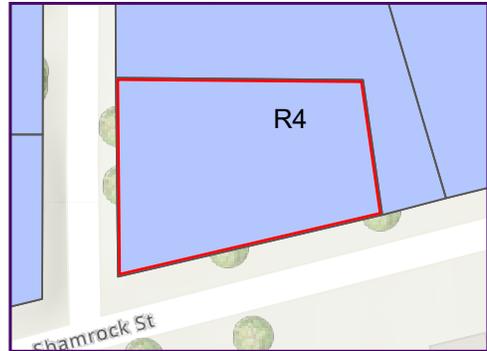
Street view of 55 Keffer St.



Aerial view of 55 Keffer St.



Surrounding zoning context



58 Keffer St.

Residential

Contributing Property

General Information

Property Address: 58 Keffer St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Painted block

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

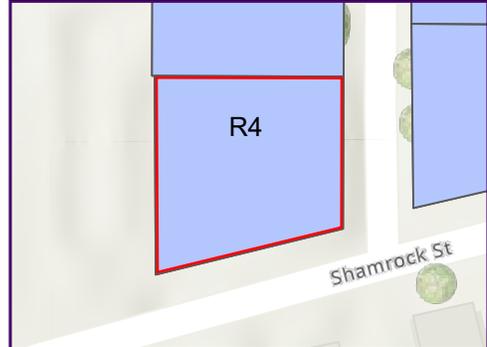
Street view of 58 Keffer St.



Aerial view of 58 Keffer St.



Surrounding zoning context



15 Kribs St.

Residential

Contributing Property

General Information

Property Address: 15 Kribs St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The Property has contextual value as a result of its location in Forbes Park and is historically linked to its surroundings.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 15 Kribs St.



Aerial view of 15 Kribs St.



Surrounding zoning context



22 Kribs St.

Residential

Contributing Property

General Information

Property Address: 22 Kribs St.
Property Name: Forbes Park Scout House
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Scout House
Current Use: Scout House
Materials: Concrete block

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The Property has contextual value as a result of its location in Forbes Park and is historically linked to its surroundings.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

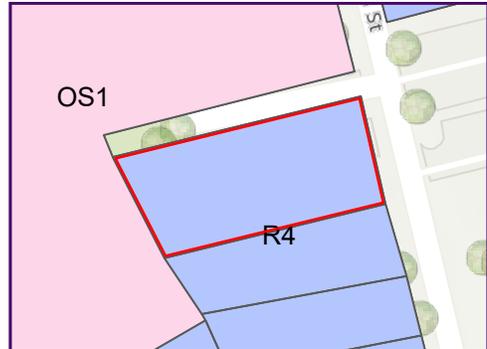
Street view of 22 Kribs St.



Aerial view of 22 Kribs St.



Surrounding zoning context



34 Kribs St.

Residential

Non-Contributing Property

General Information

Property Address: 34 Kribs St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Beige brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 34 Kribs St.



Aerial view of 34 Kribs St.



Surrounding zoning context



38 Kribs St.

Residential

Contributing Property

General Information

Property Address: 38 Kribs St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

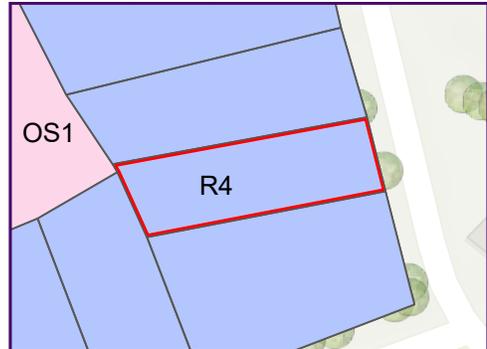
Street view of 38 Kribs St.



Aerial view of 38 Kribs St.



Surrounding zoning context



42 Kribs St.

Residential

Contributing Property

General Information

Property Address: 42 Kribs St.
Property Name: Dr. Robert McIntyre house
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: ca. 1880
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: R4 S.4.2.8.2
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 42 Kribs St.



Aerial view of 42 Kribs St.



Surrounding zoning context



11 Lewis St.

Residential

Contributing Property

General Information

Property Address: 11 Lewis St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 11 Lewis St.



Aerial view of 11 Lewis St.



Surrounding zoning context



15 Lewis St.

Residential

Contributing Property

General Information

Property Address: 15 Lewis St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Painted brick

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 15 Lewis St.



Aerial view of 15 Lewis St.



Surrounding zoning context



16 Lewis St.

Residential

Contributing Property

General Information

Property Address: 16 Lewis St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Faux stone siding

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 16 Lewis St.



Aerial view of 16 Lewis St.



Surrounding zoning context



20 Lewis St.

Residential

Contributing Property

General Information

Property Address: 20 Lewis St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: early 1900's
Past Use: Residential
Current Use: Residential
Materials: Yellow Brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 20 Lewis St.



Aerial view of 20 Lewis St.



Surrounding zoning context



21 Lewis St.

Residential

Contributing Property

General Information

Property Address: 21 Lewis St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Vinyl siding

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 21 Lewis St.



Aerial view of 21 Lewis St.



Surrounding zoning context



14 Panabaker St.

Residential

Non-Contributing Property

General Information

Property Address: 14 Panabaker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 14 Panabaker St.



Aerial view of 14 Panabaker St.



Surrounding zoning context



20 Panabaker St.

Residential

Contributing Property

General Information

Property Address: 20 Panabaker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 20 Panabaker St.



Aerial view of 20 Panabaker St.



Surrounding zoning context



23 Patrick Pl.

Residential

Contributing Property

General Information

Property Address: 23 Patrick Pl.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

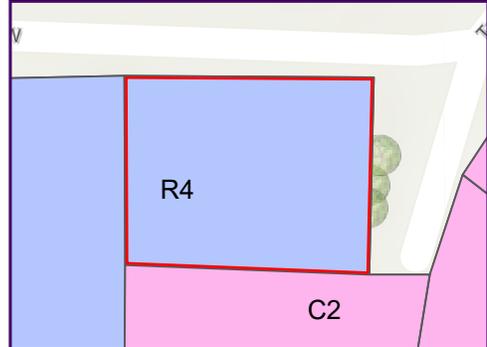
Street view of 23 Patrick Pl.



Aerial view of 23 Patrick Pl.



Surrounding zoning context



29 Patrick Pl.

Residential

Contributing Property

General Information

Property Address: 29 Patrick Pl.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: C2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

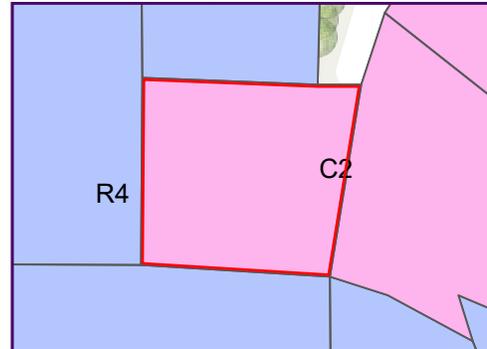
Street view of 29 Patrick Pl.



Aerial view of 29 Patrick Pl.



Surrounding zoning context



0 Queen St E.

Residential

Contributing Property

General Information

Property Address: 0 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: None

Materials: N/A

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Vacant lot adjacent to 197 Queen St. E., Speed River, and Ellacott Lookout.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

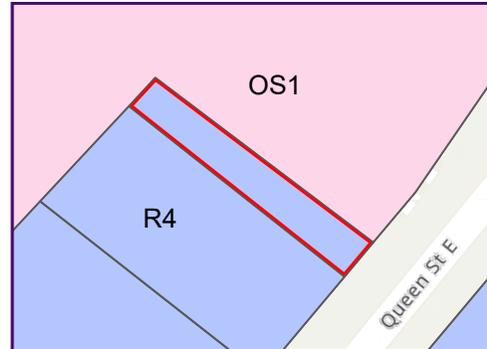
Street view of 0 Queen St E.



Aerial view of 0 Queen St E.



Surrounding zoning context



86 Queen St E.

Residential

Contributing Property

General Information

Property Address: 86 Queen St E.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

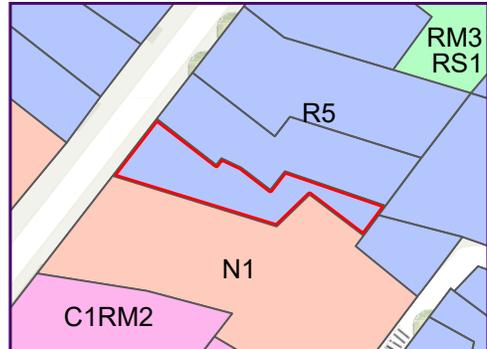
Street view of 86 Queen St E.



Aerial view of 86 Queen St E.



Surrounding zoning context



87 Queen St E.

Residential

Contributing Property

General Information

Property Address: 87 Queen St E.
Property Name: Lester Weaver's Houses
Heritage Character Area: Residential

Property Description

Builder/Architect: Lester Weaver
Date of Construction: 1908
Past Use: Residential
Current Use: Residential
Materials: Limestone rubblestone

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	N	N	Y	Y	N

Street view of 87 Queen St E.



Aerial view of 87 Queen St E.



Surrounding zoning context



90 Queen St E.

Residential

Contributing Property

General Information

Property Address: 90 Queen St E.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Yellow brick

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

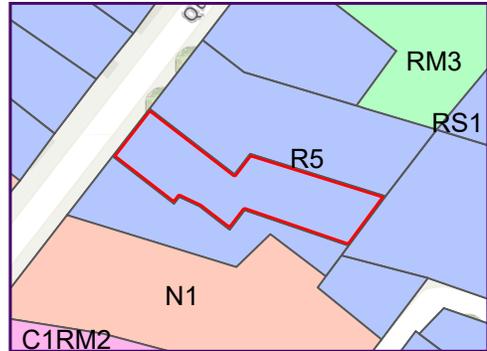
Street view of 90 Queen St E.



Aerial view of 90 Queen St E.



Surrounding zoning context



91 Queen St E.

Residential

Contributing Property

General Information

Property Address: 91 Queen St E.
Property Name: Lester Weaver's Houses
Heritage Character Area: Residential

Property Description

Builder/Architect: Lester Weaver
Date of Construction: 1908
Past Use: Residential
Current Use: Residential
Materials: Limestone rubblestone

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 91 Queen St E.



Aerial view of 91 Queen St E.



Surrounding zoning context



93 Queen St E.

Residential

Contributing Property

General Information

Property Address: 93 Queen St E.
Property Name: Lester Weaver's Houses
Heritage Character Area: Residential

Property Description

Builder/Architect: Lester Weaver
Date of Construction: 1908
Past Use: Residential
Current Use: Residential
Materials: Limestone rubblestone

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	N	N	Y	Y	N

Street view of 93 Queen St E.



Aerial view of 93 Queen St E.



Surrounding zoning context



94 Queen St E.

Residential

Contributing Property

General Information

Property Address: 94 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1895

Past Use: Residential

Current Use: Residential

Materials: Ashlar limestone

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 94 Queen St E.



Aerial view of 94 Queen St E.



Surrounding zoning context



97 Queen St E.

Residential

Contributing Property

General Information

Property Address: 97 Queen St E.
Property Name: Smiley House
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Blacksmith's Shop
Current Use: Residential
Materials: Limestone rubblestone

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	N	N	Y	Y	N

Street view of 97 Queen St E.



Aerial view of 97 Queen St E.



Surrounding zoning context



100 Queen St E.

Residential

Contributing Property

General Information

Property Address: 100 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: "Ashlar" plaster

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 100 Queen St E.



Aerial view of 100 Queen St E.



Surrounding zoning context



103 Queen St E.

Residential

Contributing Property

General Information

Property Address: 103 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 103 Queen St E.



Aerial view of 103 Queen St E.



Surrounding zoning context



106 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 106 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Multi-unit Residential

Materials: Brick

Zoning Information

Zoning Code: RM3

Zoning Type: MEDIUM HIGH DENSITY RESIDENTIAL

Additional Notes

The property has contextual value due to its location on Queen Street East.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

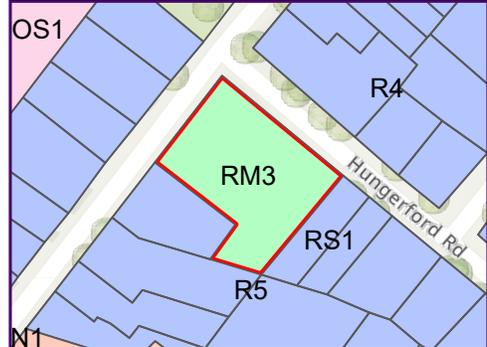
Street view of 106 Queen St E.



Aerial view of 106 Queen St E.



Surrounding zoning context



107 Queen St E.

Residential

Contributing Property

General Information

Property Address: 107 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 107 Queen St E.



Aerial view of 107 Queen St E.



Surrounding zoning context



111 Queen St E.

Residential

Contributing Property

General Information

Property Address: 111 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

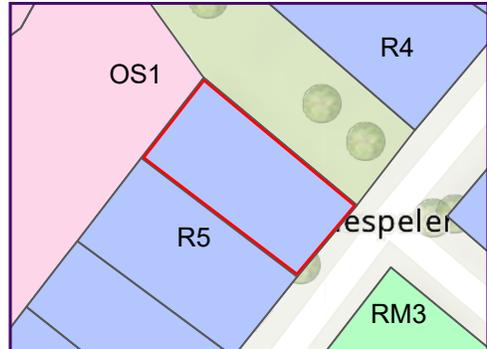
Street view of 111 Queen St E.



Aerial view of 111 Queen St E.



Surrounding zoning context



120 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 120 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone, vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property has elements that are characteristic to the Hespeler HCD, however has been modified extensively.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

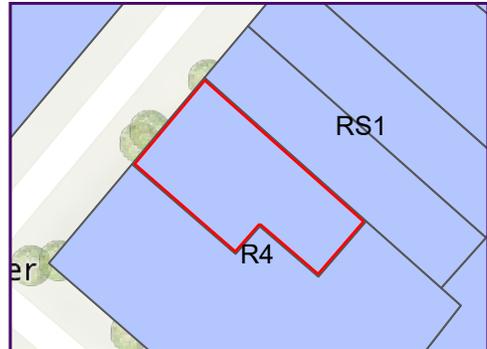
Street view of 120 Queen St E.



Aerial view of 120 Queen St E.



Surrounding zoning context



121 Queen St E.

Residential

Contributing Property

General Information

Property Address: 121 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

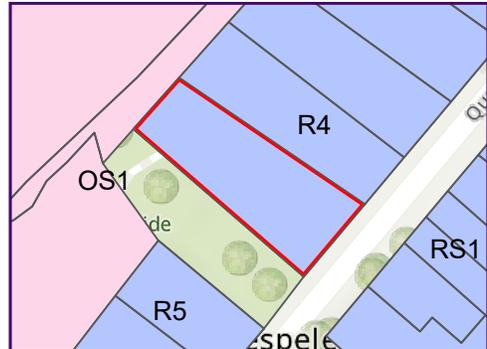
Street view of 121 Queen St E.



Aerial view of 121 Queen St E.



Surrounding zoning context



124 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 124 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property has contextual value due to location on Queen Street.

Semi-detached property with 126 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 124 Queen St E.



Aerial view of 124 Queen St E.



Surrounding zoning context



125 Queen St E.

Residential

Contributing Property

General Information

Property Address: 125 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form and shape of this house is characteristic of Hespeler.

Property backs on to the Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

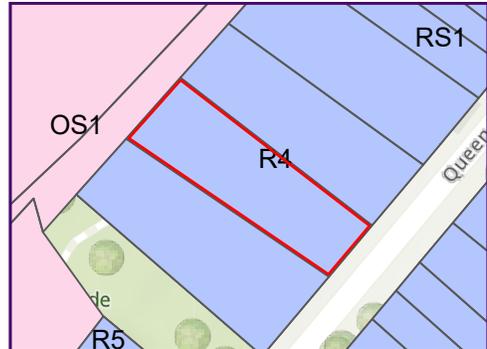
Street view of 125 Queen St E.



Aerial view of 125 Queen St E.



Surrounding zoning context



126 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 126 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red Brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property has contextual value due to location on Queen Street.

Semi-detached property with 124 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 126 Queen St E.



Aerial view of 126 Queen St E.



Surrounding zoning context



128 Queen St E.

Residential

Contributing Property

General Information

Property Address: 128 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Stone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 128 Queen St E.



Aerial view of 128 Queen St E.



Surrounding zoning context



131 Queen St E.

Residential

Contributing Property

General Information

Property Address: 131 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Important views to the Speed River/Backs on to the Speed

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 131 Queen St E.



Aerial view of 131 Queen St E.



Surrounding zoning context



132 Queen St E.

Residential

Contributing Property

General Information

Property Address: 132 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 132 Queen St E.



Aerial view of 132 Queen St E.



Surrounding zoning context



135 Queen St E.

Residential

Contributing Property

General Information

Property Address: 135 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 135 Queen St E.



Aerial view of 135 Queen St E.



Surrounding zoning context



137 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 137 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick, siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The Property backs on to the Speed River

Semi-detached property with 139 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 137 Queen St E.



Aerial view of 137 Queen St E.



Surrounding zoning context



139 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 139 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick, siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to the Speed River.

Semi-detached property with 137 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 139 Queen St E.



Aerial view of 139 Queen St E.



Surrounding zoning context



140 Queen St E.

Residential

Contributing Property

General Information

Property Address: 140 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 140 Queen St E.



Aerial view of 140 Queen St E.



Surrounding zoning context



143 Queen St E.

Residential

Contributing Property

General Information

Property Address: 143 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to the Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 143 Queen St E.



Aerial view of 143 Queen St E.



Surrounding zoning context



144 Queen St E.

Residential

Contributing Property

General Information

Property Address: 144 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 144 Queen St E.



Aerial view of 144 Queen St E.



Surrounding zoning context



147 Queen St E.

Residential

Contributing Property

General Information

Property Address: 147 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to the Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 147 Queen St E.



Aerial view of 147 Queen St E.



Surrounding zoning context



148 Queen St E.

Residential

Non-Contributing Property

General Information

Property Address: 148 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Grey Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 148 Queen St E.



Aerial view of 148 Queen St E.



Surrounding zoning context



151 Queen St E.

Residential

Contributing Property

General Information

Property Address: 151 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

This property has evidence of an early shape and form, however many modifications over time - although there is still some fabric.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 151 Queen St E.



Aerial view of 151 Queen St E.



Surrounding zoning context



152 Queen St E.

Residential

Contributing Property

General Information

Property Address: 152 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 152 Queen St E.



Aerial view of 152 Queen St E.



Surrounding zoning context



157 Queen St E.

Residential

Contributing Property

General Information

Property Address: 157 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Late 2010s

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

This property has a newer built home on it, however the property is very contextually important to the district.

Property is on the Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 157 Queen St E.



Aerial view of 157 Queen St E.



Surrounding zoning context



160 Queen St E.

Residential

Contributing Property

General Information

Property Address: 160 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

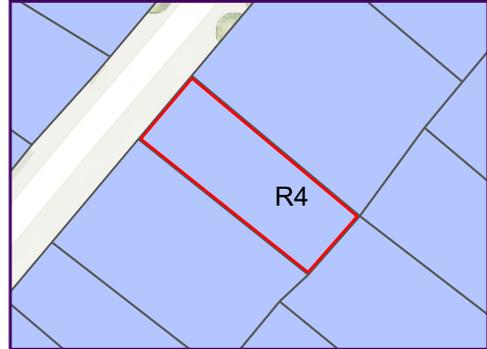
Street view of 160 Queen St E.



Aerial view of 160 Queen St E.



Surrounding zoning context



161 Queen St E.

Residential

Contributing Property

General Information

Property Address: 161 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property is adjacent to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 161 Queen St E.



Aerial view of 161 Queen St E.



Surrounding zoning context



164 Queen St E.

Residential

Contributing Property

General Information

Property Address: 164 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 164 Queen St E.



Aerial view of 164 Queen St E.



Surrounding zoning context



165 Queen St E.

Residential

Contributing Property

General Information

Property Address: 165 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1857

Past Use: Residential

Current Use: Residential

Materials: Limestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 167 Queen St E

Property adjacent to the Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 165 Queen St E.



Aerial view of 165 Queen St E.



Surrounding zoning context



167 Queen St E.

Residential

Contributing Property

General Information

Property Address: 167 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1857

Past Use: Residential

Current Use: Residential

Materials: Limestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 165 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

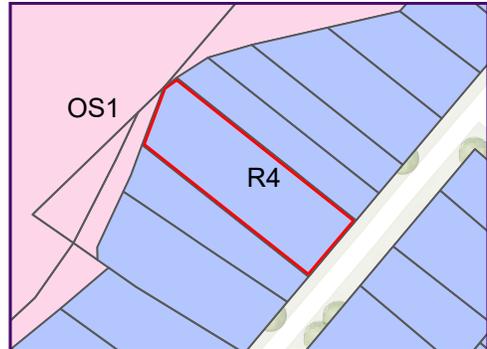
Street view of 167 Queen St E.



Aerial view of 167 Queen St E.



Surrounding zoning context



168 Queen St E.

Residential

Contributing Property

General Information

Property Address: 168 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 168 Queen St E.



Aerial view of 168 Queen St E.



Surrounding zoning context



171 Queen St E.

Residential

Contributing Property

General Information

Property Address: 171 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

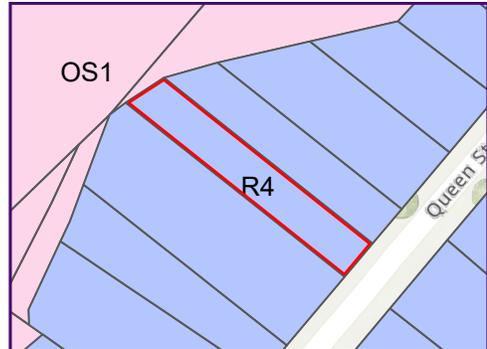
Street view of 171 Queen St E.



Aerial view of 171 Queen St E.



Surrounding zoning context



172 Queen St E.

Residential

Contributing Property

General Information

Property Address: 172 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 172 Queen St E.



Aerial view of 172 Queen St E.



Surrounding zoning context



175 Queen St E.

Residential

Contributing Property

General Information

Property Address: 175 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property is adjacent to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

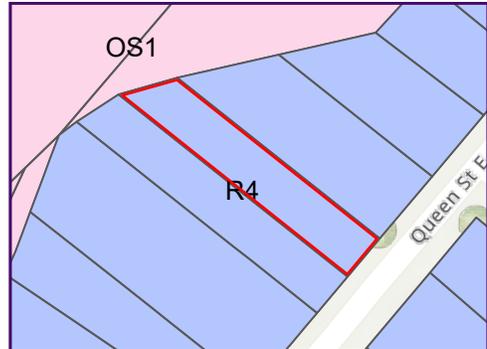
Street view of 175 Queen St E.



Aerial view of 175 Queen St E.



Surrounding zoning context



179 Queen St E.

Residential

Contributing Property

General Information

Property Address: 179 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property is adjacent to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 179 Queen St E.



Aerial view of 179 Queen St E.



Surrounding zoning context



180 Queen St E.

Residential

Contributing Property

General Information

Property Address: 180 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 180 Queen St E.



Aerial view of 180 Queen St E.



Surrounding zoning context



185 Queen St E.

Residential

Contributing Property

General Information

Property Address: 185 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: N/A

Materials: N/A

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property adjacent to Speed River

No building is located on the property, however a residential building clad in faux stone is located at 189 Queen St E with the address 185 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 185 Queen St E.



Aerial view of 185 Queen St E.



Surrounding zoning context



188 Queen St E.

Residential

Contributing Property

General Information

Property Address: 188 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 188 Queen St E.



Aerial view of 188 Queen St E.



Surrounding zoning context



189 Queen St E.

Residential

Contributing Property

General Information

Property Address: 189 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property adjacent to the Speed River.

Two buildings located on the property, addressed 185 and 189 Queen St E

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

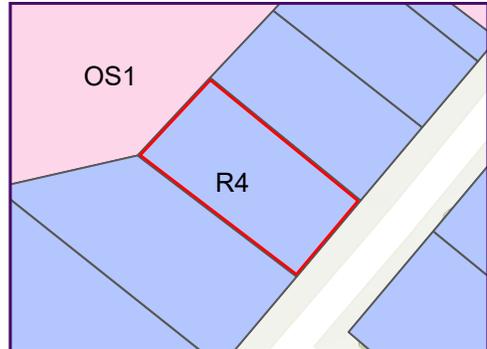
Street view of 189 Queen St E.



Aerial view of 189 Queen St E.



Surrounding zoning context



193 Queen St E.

Residential

Contributing Property

General Information

Property Address: 193 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 193 Queen St E.



Aerial view of 193 Queen St E.



Surrounding zoning context



194 Queen St E.

Residential

Contributing Property

General Information

Property Address: 194 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Stone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

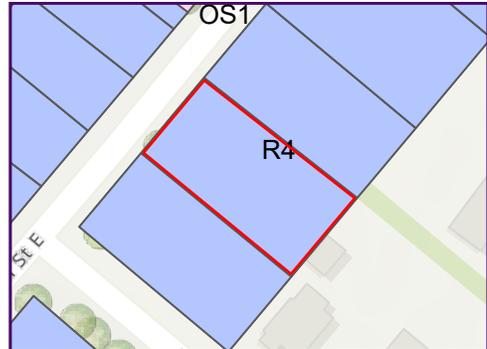
Street view of 194 Queen St E.



Aerial view of 194 Queen St E.



Surrounding zoning context



197 Queen St E.

Residential

Contributing Property

General Information

Property Address: 197 Queen St E.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Rubblestone with white brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property adjacent to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

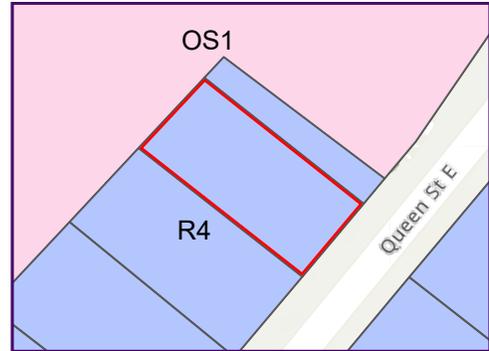
Street view of 197 Queen St E.



Aerial view of 197 Queen St E.



Surrounding zoning context



200 Queen St E.

Residential

Contributing Property

General Information

Property Address: 200 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 200 Queen St E.



Aerial view of 200 Queen St E.



Surrounding zoning context



206 Queen St E.

Residential

Contributing Property

General Information

Property Address: 206 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Stone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Property faces Ellacott Lookout.

Property neighbouring 212 Queen Street East, Part IV designated Property (to the East of subject property), By-law 112 -17.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 206 Queen St E.



Aerial view of 206 Queen St E.



Surrounding zoning context



212 Queen St E.

Residential

Contributing Property

General Information

Property Address: 212 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1865-1875

Past Use: Residential

Current Use: Residential

Materials: Limestone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property is designated Part IV (By-law112 -17)

Description of Heritage Attributes: limestone construction; limestone block foundation; ribbon pointing work on limestone; hipped roofline; four square plan; protruding bay windows on the first and second floor of the front facade; front porch and balcony construction including turned spindle bannisters, newels, and

ionic columns; double paneled wooden front door with rounded top stained glass windows and stained glass transom; circular topped windows; and voussoirs and key stones above all windows.

True to its Italianate architectural style, this residence is a two storey, centre hall design with protruding bay windows on the first and second floor with cornice brackets on the soffits, low hip roof and a porch on the front elevation. The property is believed to have been constructed for John C. Green, a veterinary surgeon, farrier and Councillor for the Town of Hespeler.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

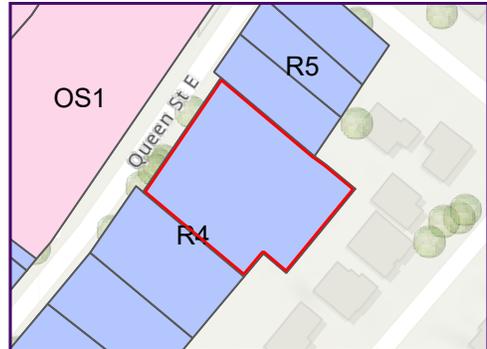
Street view of 212 Queen St E.



Aerial view of 212 Queen St E.



Surrounding zoning context



220 Queen St E.

Residential

Contributing Property

General Information

Property Address: 220 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Property form characteristic of early Hespeler buildings, however many material changes over time.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 220 Queen St E.



Aerial view of 220 Queen St E.



Surrounding zoning context



224 Queen St E.

Residential

Contributing Property

General Information

Property Address: 224 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 224 Queen St E.



Aerial view of 224 Queen St E.



Surrounding zoning context



228 Queen St E.

Residential

Contributing Property

General Information

Property Address: 228 Queen St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	N	Y	N

Street view of 228 Queen St E.



Aerial view of 228 Queen St E.



Surrounding zoning context



0 Queen St W.

Residential

Contributing Property

General Information

Property Address: 0 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: N/A

Current Use: N/A

Materials: N/A

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 0 Queen St W.



Aerial view of 0 Queen St W.



Surrounding zoning context



39 Queen St W.

Residential

Contributing Property

General Information

Property Address: 39 Queen St W.
 Property Name: Samuel Bergey House
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: ca. 1840
 Past Use: Residential
 Current Use: Commercial
 Materials: Limestone Rubblestone

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

First owner of the house was Samuel Bergey, the grandson of Michael and Susanna Bergey (who's log cabin remains beside the house), original founder of Bergetown. One of the earliest remaining houses in Hespeler.

Heavily mortared limestone rubblestone, construction material used in the early history of the settlement of the area, Heavy influence of Mennonite-Georgian Architecture, influential in early settlement of Hespeler.

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	Y	Y	Y	N

Street view of 39 Queen St W.



Aerial view of 39 Queen St W.



Surrounding zoning context



41 Queen St W.

Residential

Contributing Property

General Information

Property Address: 41 Queen St W.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Michael Bergey
 Date of Construction: early 1830's
 Past Use: Residential
 Current Use: Residential
 Materials: Board, half-timbers

Zoning Information

Zoning Code: C1RM2
 Zoning Type: COMMERCIAL

Additional Notes

Log home built by Michael Bergey. This may be Hespeler's first residence. (ca. 1830s). In 1830 Joseph Oberholtzer purchased a large tract of land from Abraham Clemens and deeded some of this land to his sister Susanna, wife of Michael Bergey. The Bergeys

Lack of setback from street edge characteristic of north side of Queen Street West.

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	Y	Y	Y	N

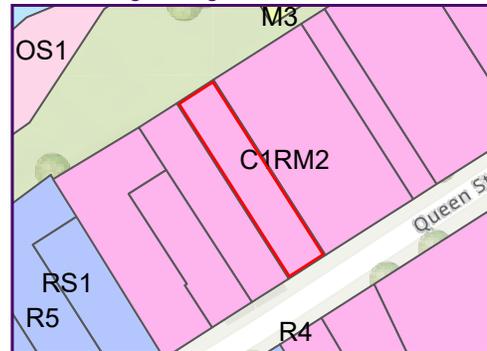
Street view of 41 Queen St W.



Aerial view of 41 Queen St W.



Surrounding zoning context



42 Queen St W.

Residential

Contributing Property

General Information

Property Address: 42 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: ca. 1875

Past Use: Residential

Current Use: Residential

Materials: Limestone

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Heavily mortared limestone construction, abundant in Ontario.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

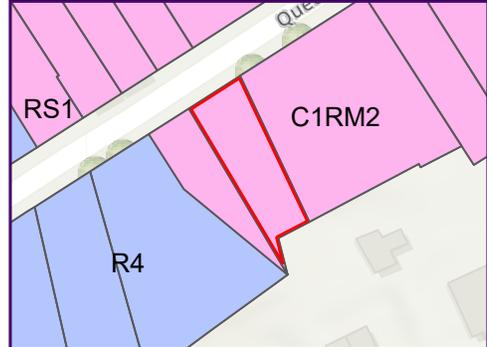
Street view of 42 Queen St W.



Aerial view of 42 Queen St W.



Surrounding zoning context



43 Queen St W.

Residential

Contributing Property

General Information

Property Address: 43 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown (Pre-1910)

Past Use: Residential

Current Use: Residential

Materials: Heavily Mortared Limestone

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Heavily mortared limestone rubblestone, construction material and simple rectangular form. Heavy influence of Mennonite-Georgian Architecture, influential in early settlement of Hespeler.

Lack of setback from street edge characteristic of north side of Queen Street West. The windows and door openings are topped with segmental arches, a common feature in mid-19th-century masonry buildings. Modest detailing.

Property backs on to Speed River Corridor. (43-45 Queen St. W.)

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	Y	N	Y	Y	N

Street view of 43 Queen St W.



Aerial view of 43 Queen St W.



Surrounding zoning context



46 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 46 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1943

Past Use: Willard's Dry Cleaners building

Current Use: Commercial

Materials: Vinyl Siding

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Building appears to have been there before 1910, however may have been replaced by newer building in 1943. Insurance map indicates the bowling alley was also on this property, located behind the structure Cleaners that fronts Queen West.

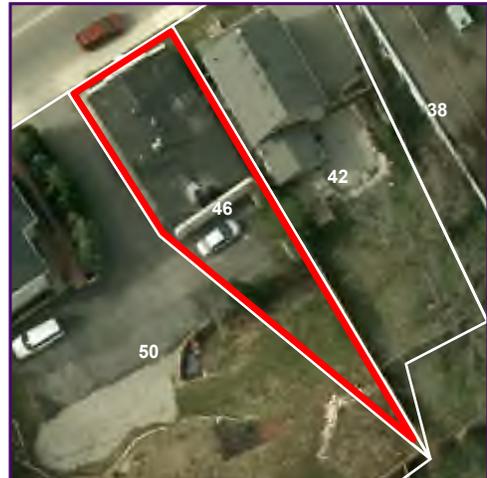
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

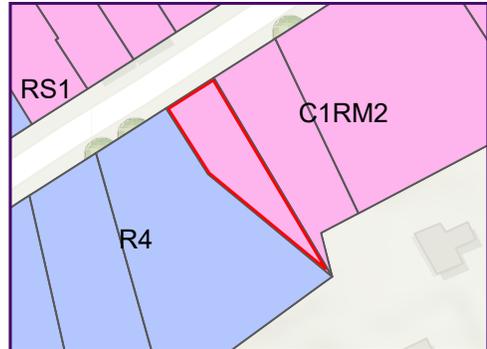
Street view of 46 Queen St W.



Aerial view of 46 Queen St W.



Surrounding zoning context



47 Queen St W.

Residential

Contributing Property

General Information

Property Address: 47 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown (Pre-1910)

Past Use: Residential

Current Use: Residential

Materials: Vinyl Siding

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Lack of setback from street edge characteristic of north side of Queen Street West.

The simple front-facing gable roof is characteristic of traditional residential architecture in Ontario, specifically vernacular homes.

Covered porch with columns, minimal detail.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

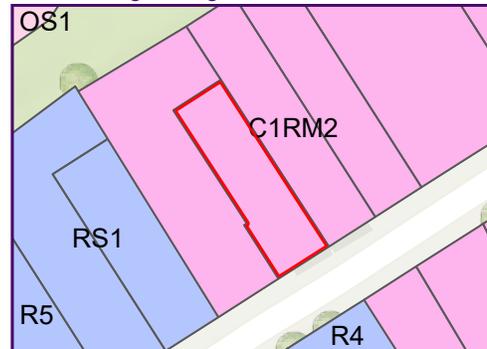
Street view of 47 Queen St W.



Aerial view of 47 Queen St W.



Surrounding zoning context



50 Queen St W.

Residential

Contributing Property

General Information

Property Address: 50 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster (covered with siding)

Zoning Information

Zoning Code: R4 S.4.2.8.3

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

This home is a vernacular Italianate-style house, meaning it follows Italianate design principles but may have been built with local adaptations. The bay window tower, decorative brackets, and window trim are the strongest indicators of its Italianate inf

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

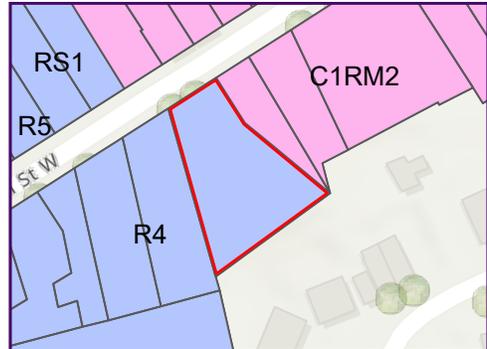
Street view of 50 Queen St W.



Aerial view of 50 Queen St W.



Surrounding zoning context



53 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 53 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

Property backs on to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 53 Queen St W.



Aerial view of 53 Queen St W.



Surrounding zoning context



55 Queen St W.

Residential

Contributing Property

General Information

Property Address: 55 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown (Pre-1910)

Past Use: Residential

Current Use: Residential

Materials: Rough Cast/Plastered

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River.

Lack of setback from street edge characteristic of north side of Queen Street West.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

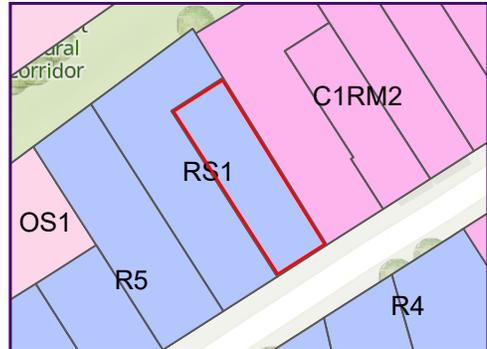
Street view of 55 Queen St W.



Aerial view of 55 Queen St W.



Surrounding zoning context



56 Queen St W.

Residential

Contributing Property

General Information

Property Address: 56 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

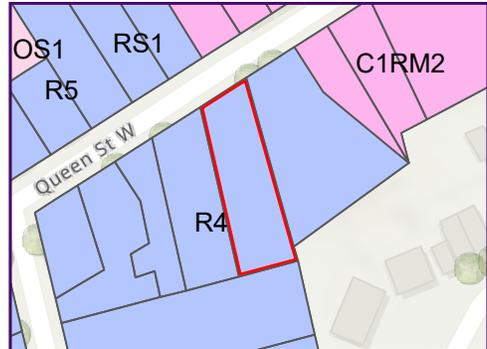
Street view of 56 Queen St W.



Aerial view of 56 Queen St W.



Surrounding zoning context



57 Queen St W.

Residential

Contributing Property

General Information

Property Address: 57 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown (Pre-1910)

Past Use: Residential

Current Use: Residential

Materials: Limestone

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River Corridor.

Lack of setback from street edge characteristic of north side of Queen Street West.

Limestone characteristic of Ontario Vernacular Architecture. Segmented arched window/pointed arch.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

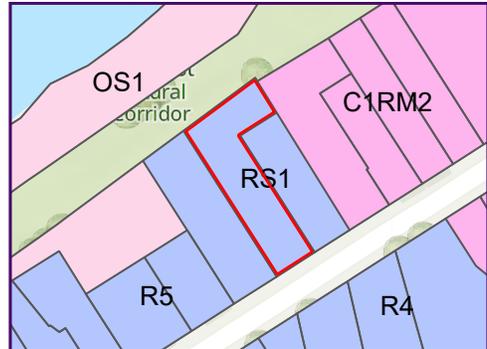
Street view of 57 Queen St W.



Aerial view of 57 Queen St W.



Surrounding zoning context



60 Queen St W.

Residential

Contributing Property

General Information

Property Address: 60 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Ontario Gothic Residential/vernacular or folk representation. Steeply pitched gabled roof, decorative window detail and asymmetrical façade.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 60 Queen St W.



Aerial view of 60 Queen St W.



Surrounding zoning context



61 Queen St W.

Residential

Contributing Property

General Information

Property Address: 61 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown (Pre-1910)

Past Use: Residential

Current Use: Residential

Materials: Board siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Lack of setback from street edge characteristic of north side of Queen Street West.

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

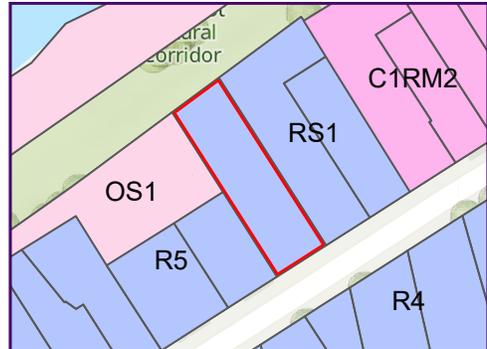
Street view of 61 Queen St W.



Aerial view of 61 Queen St W.



Surrounding zoning context



62 Queen St W.

Residential

Contributing Property

General Information

Property Address: 62 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Painted block

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 62 Queen St W.



Aerial view of 62 Queen St W.



Surrounding zoning context



65 Queen St W.

Residential

Contributing Property

General Information

Property Address: 65 Queen St W.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Faux stone siding

Zoning Information

Zoning Code: R5
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Lack of setback from street edge characteristic of north side of Queen Street West.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 65 Queen St W.



Aerial view of 65 Queen St W.



Surrounding zoning context



66 Queen St W.

Residential

Contributing Property

General Information

Property Address: 66 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4 S.4.2.8.2, S.4.2.62

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 66 Queen St W.



Aerial view of 66 Queen St W.



Surrounding zoning context



67 Queen St W.

Residential

Contributing Property

General Information

Property Address: 67 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: OS1

Zoning Type: OPEN SPACE

Additional Notes

This property is located behind 65 Queen Street West

Property backs on to Speed River.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

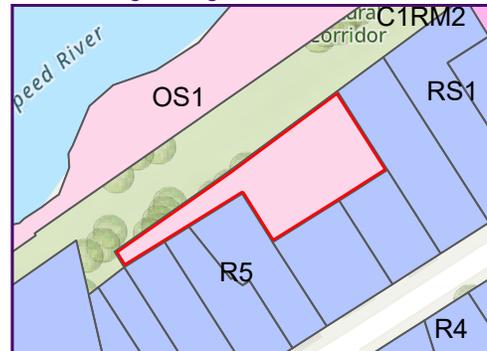
Street view of 67 Queen St W.



Aerial view of 67 Queen St W.



Surrounding zoning context



69 Queen St W.

Residential

Contributing Property

General Information

Property Address: 69 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Gothic Window, Cross gable roof style characteristic in Hespeler.

Lack of setback from street edge characteristic of north side of Queen Street West.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

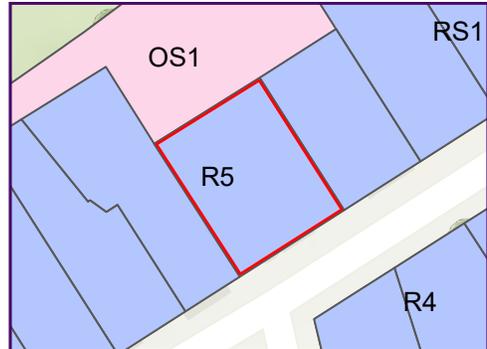
Street view of 69 Queen St W.



Aerial view of 69 Queen St W.



Surrounding zoning context



70 Queen St W.

Residential

Contributing Property

General Information

Property Address: 70 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Yellow Buff Brick

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 70 Queen St W.



Aerial view of 70 Queen St W.



Surrounding zoning context



73 Queen St W.

Residential

Contributing Property

General Information

Property Address: 73 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Lack of setback from street edge characteristic of north side of Queen Street West.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 73 Queen St W.



Aerial view of 73 Queen St W.



Surrounding zoning context



77 Queen St W.

Residential

Contributing Property

General Information

Property Address: 77 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 77 Queen St W.



Aerial view of 77 Queen St W.



Surrounding zoning context



78 Queen St W.

Residential

Contributing Property

General Information

Property Address: 78 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 78 Queen St W.



Aerial view of 78 Queen St W.



Surrounding zoning context



81 Queen St W.

Residential

Contributing Property

General Information

Property Address: 81 Queen St W.
Property Name: Samuel Bergey House
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Faux stone siding

Zoning Information

Zoning Code: R5
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

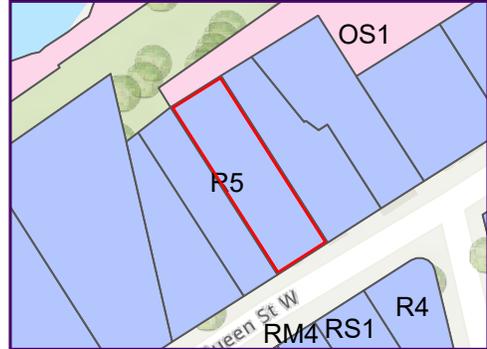
Street view of 81 Queen St W.



Aerial view of 81 Queen St W.



Surrounding zoning context



82 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 82 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 84 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 82 Queen St W.



Aerial view of 82 Queen St W.



Surrounding zoning context



83 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 83 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding, faux stone siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

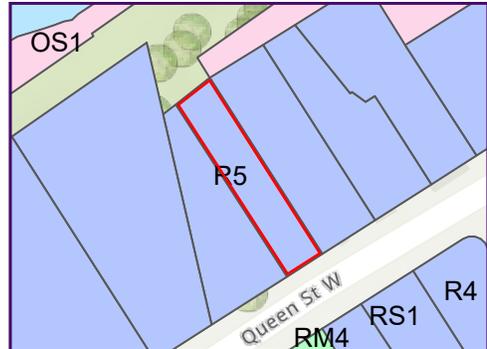
Street view of 83 Queen St W.



Aerial view of 83 Queen St W.



Surrounding zoning context



84 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 84 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 82 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 84 Queen St W.



Aerial view of 84 Queen St W.



Surrounding zoning context



85 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 85 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 85 Queen St W.



Aerial view of 85 Queen St W.



Surrounding zoning context



88 Queen St W.

Residential

Contributing Property

General Information

Property Address: 88 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Heavily mortared limestone rubblestone

Zoning Information

Zoning Code: RM4 S.4.1.137

Zoning Type: MEDIUM HIGH DENSITY RESIDENTIAL

Additional Notes

Limestone building Originally a Bakery.

Second property built on the same property (possibly merged later on). Brick structure built post 1910.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 88 Queen St W.



Aerial view of 88 Queen St W.



Surrounding zoning context



91 Queen St W.

Residential

Contributing Property

General Information

Property Address: 91 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1908

Past Use: Residential

Current Use: Residential

Materials: Block

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 91 Queen St W.



Aerial view of 91 Queen St W.



Surrounding zoning context



93 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 93 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Structure form existed pre-1910, however may have been heavily modified from original and reclad in brick.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 93 Queen St W.



Aerial view of 93 Queen St W.



Surrounding zoning context



94 Queen St W.

Residential

Contributing Property

General Information

Property Address: 94 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: "Ashlar" plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 94 Queen St W.



Aerial view of 94 Queen St W.



Surrounding zoning context



96 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 96 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 96 Queen St W.



Aerial view of 96 Queen St W.



Surrounding zoning context



100 Queen St W.

Residential

Contributing Property

General Information

Property Address: 100 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: RS1 S.4.2.8.3

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Modified Italianate

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 100 Queen St W.



Aerial view of 100 Queen St W.



Surrounding zoning context



103 Queen St W.

Residential

Contributing Property

General Information

Property Address: 103 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: (1870-1875)

Past Use: Commercial/Industrial

Current Use: Commercial

Materials: Plaster, stone beneath

Zoning Information

Zoning Code: M3

Zoning Type: INDUSTRIAL

Additional Notes

Karch Foundry Co. was founded by Charles Karch Sr. around 1874-75 and manufactured cast iron machinery for the textile industry, as well as operating a machine shop. The company passed to his sons following death and became Karch Brothers Foundry Co. Char

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	Y	Y	N	Y	Y	N

Street view of 103 Queen St W.



Aerial view of 103 Queen St W.



Surrounding zoning context



104 Queen St W.

Residential

Contributing Property

General Information

Property Address: 104 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Tall, narrow windows with arched tops
Brick construction with decorative detailing
Low-pitched, hipped roof
Wide eaves with decorative brackets or trim
Ornate porch trim with scrollwork.

This house appears to be a more modest, vernacular interpretation of the Italianate style, common in small towns and rural areas of Canada. The decorative woodwork on the porch and the symmetrical façade reinforce its historical character.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 104 Queen St W.



Aerial view of 104 Queen St W.



Surrounding zoning context



112 Queen St W.

Residential

Contributing Property

General Information

Property Address: 112 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick (painted over)

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 114 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 112 Queen St W.



Aerial view of 112 Queen St W.



Surrounding zoning context



113 Queen St W.

Residential

Contributing Property

General Information

Property Address: 113 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 115 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 113 Queen St W.



Aerial view of 113 Queen St W.



Surrounding zoning context



114 Queen St W.

Residential

Contributing Property

General Information

Property Address: 114 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick (painted over)

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 112 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 114 Queen St W.



Aerial view of 114 Queen St W.



Surrounding zoning context



115 Queen St W.

Residential

Contributing Property

General Information

Property Address: 115 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 113 Queen St W

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 115 Queen St W.



Aerial view of 115 Queen St W.



Surrounding zoning context



119 Queen St W.

Residential

Contributing Property

General Information

Property Address: 119 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

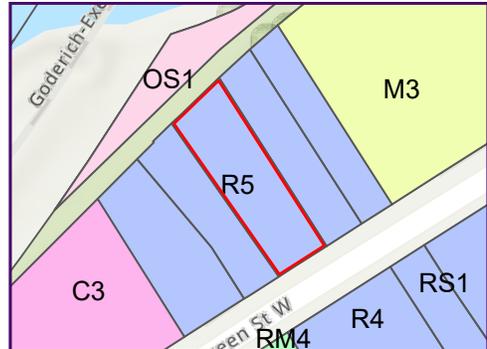
Street view of 119 Queen St W.



Aerial view of 119 Queen St W.



Surrounding zoning context



120 Queen St W.

Residential

Contributing Property

General Information

Property Address: 120 Queen St W.
 Property Name: The Castle (The Karch House)
 Heritage Character Area: Residential

Property Description

Builder/Architect: Charles Karch
 Date of Construction: 1870
 Past Use: Residential
 Current Use: Residential
 Materials: Yellow Brick

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

A great deal of historical significance is also associated with 120 Queen Street West. Charles Karch, a Mill Machinery Manufacturer, was the original owner of this residence. Karch's Foundry business played a very important role to many of the textile operations along the Grand and Speed Rivers. Charles Karch also served as a Justice of the Peace for Hespeler for many years.

The structural design of this building is very unique. The main roof shape is gable. A witch's cap tops the central tower while end gables head the two projecting front-pieces. Brown 210 lb. asphalt shingles cover the roof. Twelve segmentally arched vertically long and rectangular, double-hung windows with wood lug sills are found on both the first and second stories of this building. Arabesque patterning are etched into the ruby glass panels of the main doors.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	Y	Y	Y	N

Street view of 120 Queen St W.



Aerial view of 120 Queen St W.



Surrounding zoning context



125 Queen St W.

Residential

Contributing Property

General Information

Property Address: 125 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

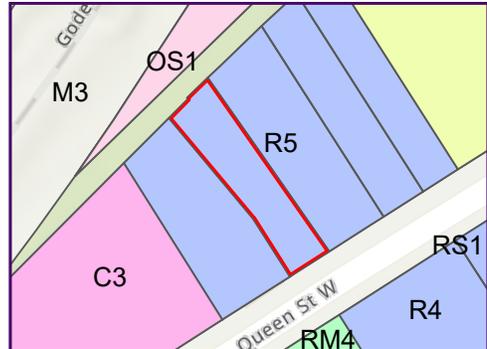
Street view of 125 Queen St W.



Aerial view of 125 Queen St W.



Surrounding zoning context



126-128 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 126-128 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 2023

Past Use: Residential

Current Use: Residential

Materials: Brick, Siding

Zoning Information

Zoning Code: RM4

Zoning Type: MEDIUM HIGH DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

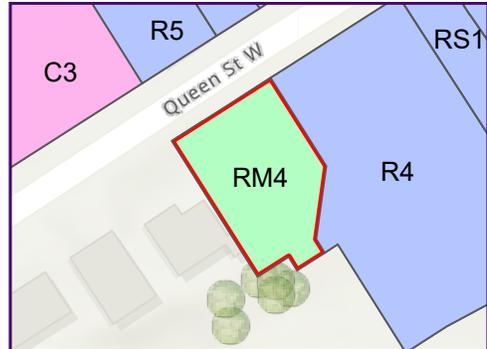
Street view of 126-128 Queen St W.



Aerial view of 126-128 Queen St W.



Surrounding zoning context



127 Queen St W.

Residential

Contributing Property

General Information

Property Address: 127 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster and aluminum

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Gothic Window, Cross gable roof style characteristic in Hespeler.

Lack of setback from street edge characteristic of north side of Queen Street West.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 127 Queen St W.



Aerial view of 127 Queen St W.



Surrounding zoning context



139 Queen St W.

Residential

Non-Contributing Property

General Information

Property Address: 139 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Commercial

Current Use: Commercial

Materials: Concrete

Zoning Information

Zoning Code: C3C5 S.4.1.49

Zoning Type: COMMERCIAL

Additional Notes

Property backs on to Speed River Corridor.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

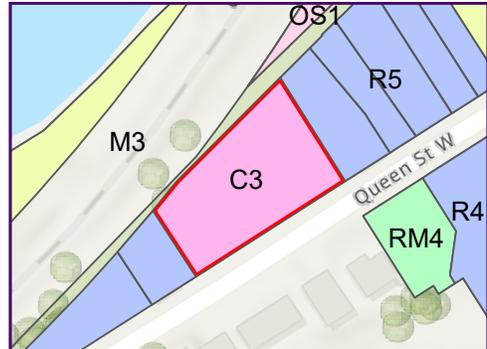
Street view of 139 Queen St W.



Aerial view of 139 Queen St W.



Surrounding zoning context



147 Queen St W.

Residential

Contributing Property

General Information

Property Address: 147 Queen St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Property backs on to Speed River.

Lack of setback from street edge characteristic of north side of Queen Street West.

Appears to be last in a row of properties on this section of Queen Street West

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

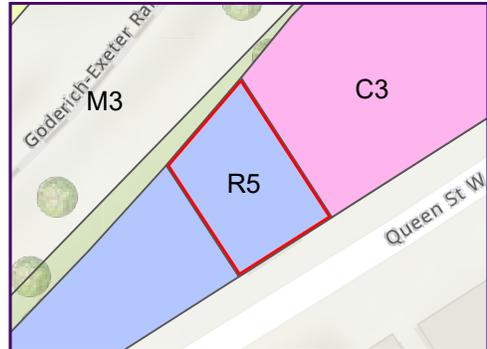
Street view of 147 Queen St W.



Aerial view of 147 Queen St W.



Surrounding zoning context



7 Shamrock St.

Residential

Non-Contributing Property

General Information

Property Address: 7 Shamrock St.
 Property Name: N/A
 Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
 Date of Construction: Unknown
 Past Use: Residential
 Current Use: Residential
 Materials: Siding

Zoning Information

Zoning Code: R4
 Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Street Configuration appears to have changed in this area over time

This house has some folk, victorian elements as well af Chalet or Swiss influence, particularly in the upper balcony and wood detailing.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

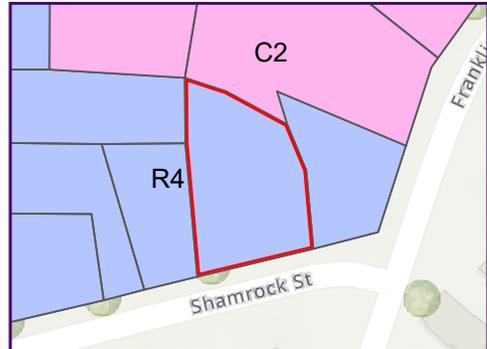
Street view of 7 Shamrock St.



Aerial view of 7 Shamrock St.



Surrounding zoning context



11 Shamrock St.

Residential

Non-Contributing Property

General Information

Property Address: 11 Shamrock St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Street Configuration appears to have changed in this area over time

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

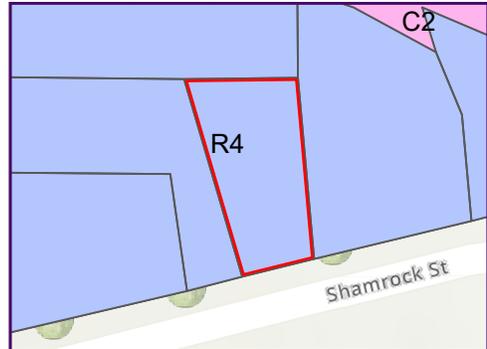
Street view of 11 Shamrock St.



Aerial view of 11 Shamrock St.



Surrounding zoning context



2 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 2 Tannery St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4(CO) S.4.2.40

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 2 Tannery St E.



Aerial view of 2 Tannery St E.



Surrounding zoning context



6 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 6 Tannery St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 8 Tannery St E

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

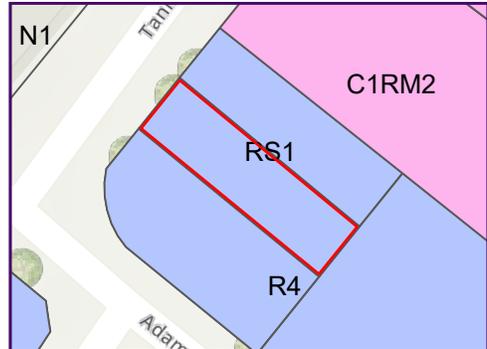
Street view of 6 Tannery St E.



Aerial view of 6 Tannery St E.



Surrounding zoning context



8 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 8 Tannery St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use:

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 6 Tannery St E

Mature trees on property

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

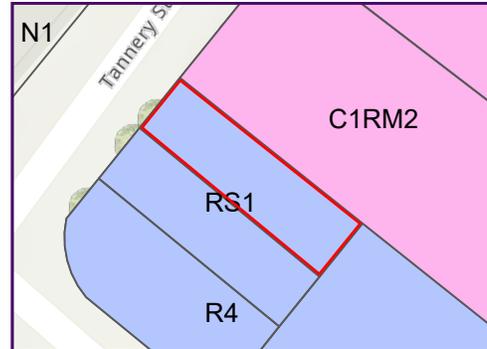
Street view of 8 Tannery St E.



Aerial view of 8 Tannery St E.



Surrounding zoning context



12 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 12 Tannery St E.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Painted brick

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

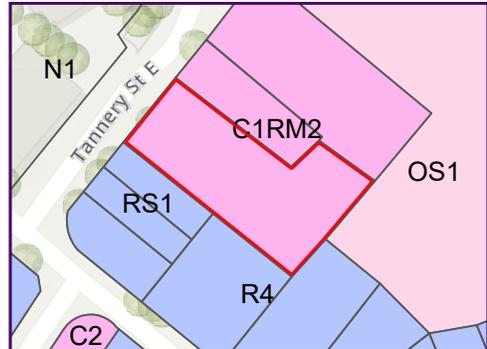
Street view of 12 Tannery St E.



Aerial view of 12 Tannery St E.



Surrounding zoning context



18 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 18 Tannery St E.

Property Name: Hespeler Community Church of the Salvation Army

Property Description

Builder/Architect: Unknown

Date of Construction: 1892

Past Use: Baptist Church

Current Use: Church

Materials: Brick

Zoning Information

Zoning Code: C1RM2

Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

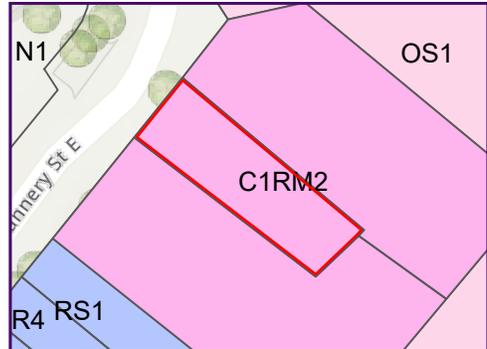
Street view of 18 Tannery St E.



Aerial view of 18 Tannery St E.



Surrounding zoning context



22 Tannery St E.

Residential

Contributing Property

General Information

Property Address: 22 Tannery St E.
Property Name: Forbes Park Dental Office
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Dentist
Materials: Yellow brick

Zoning Information

Zoning Code: C1RM2 S.4.1.77
Zoning Type: COMMERCIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

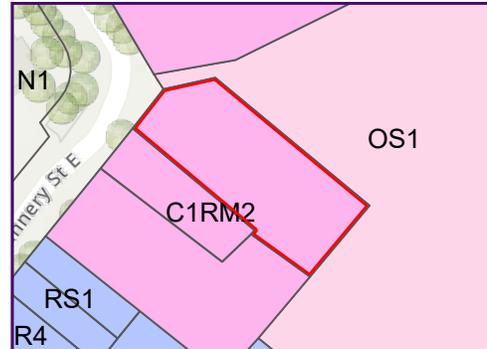
Street view of 22 Tannery St E.



Aerial view of 22 Tannery St E.



Surrounding zoning context



9 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 9 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

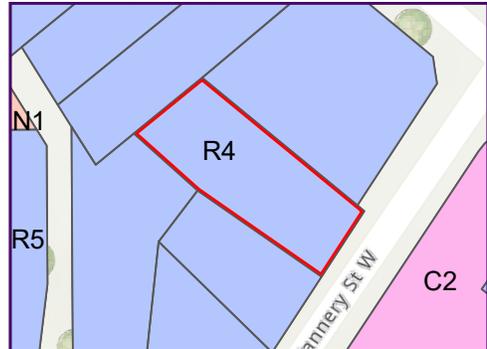
Street view of 9 Tannery St W.



Aerial view of 9 Tannery St W.



Surrounding zoning context



11 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 11 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

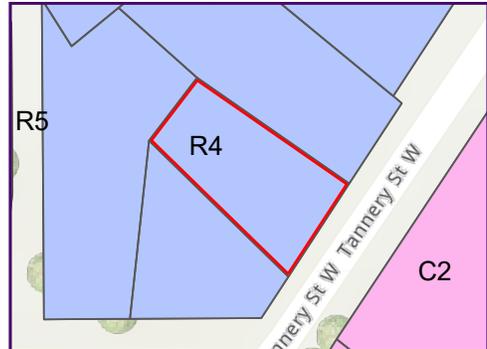
Street view of 11 Tannery St W.



Aerial view of 11 Tannery St W.



Surrounding zoning context



15 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 15 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

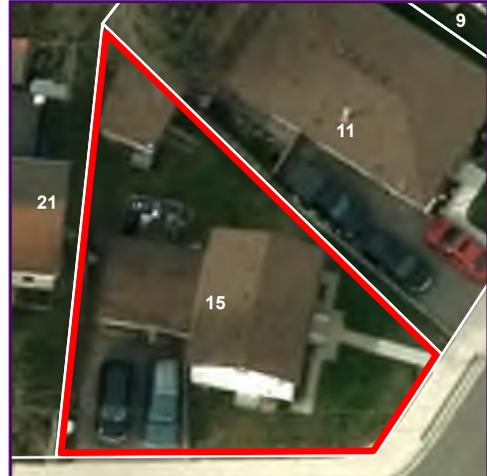
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 15 Tannery St W.



Aerial view of 15 Tannery St W.



Surrounding zoning context



21 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 21 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

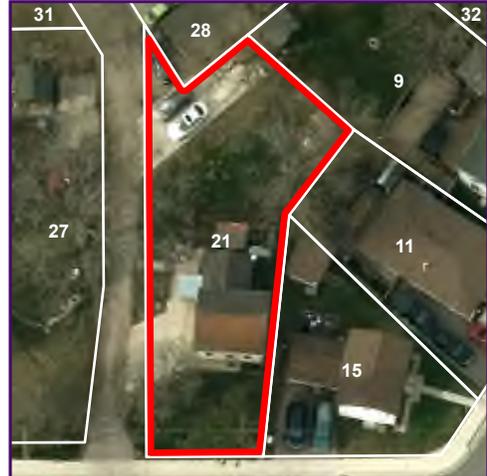
OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

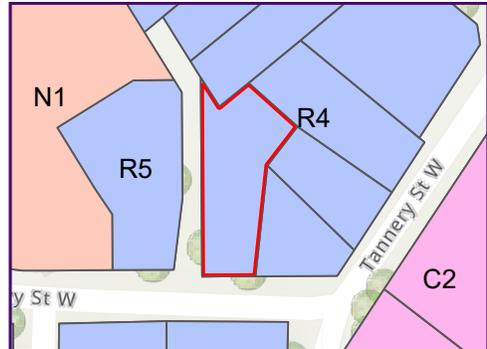
Street view of 21 Tannery St W.



Aerial view of 21 Tannery St W.



Surrounding zoning context



27 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 27 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R5

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

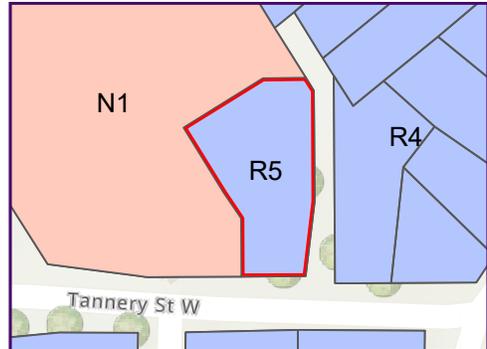
Street view of 27 Tannery St W.



Aerial view of 27 Tannery St W.



Surrounding zoning context



30 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 30 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

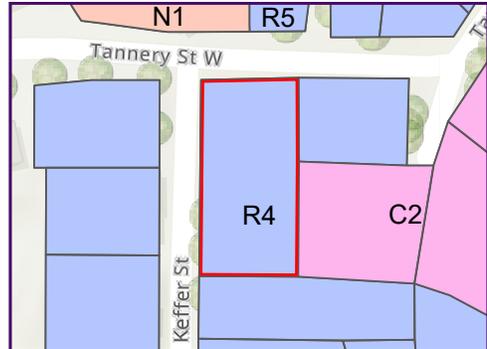
Street view of 30 Tannery St W.



Aerial view of 30 Tannery St W.



Surrounding zoning context



31 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 31 Tannery St W.
Property Name: Chinese Alliance Church
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Church
Current Use: Church
Materials: Vinyl siding

Zoning Information

Zoning Code: N1
Zoning Type: INSTITUTIONAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

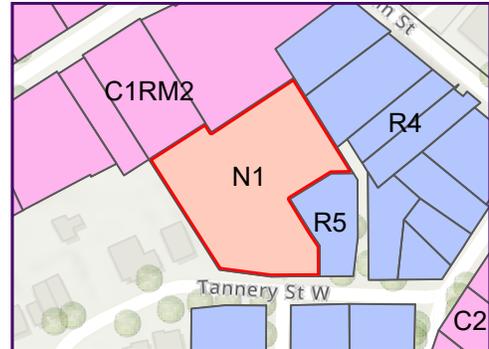
Street view of 31 Tannery St W.



Aerial view of 31 Tannery St W.



Surrounding zoning context



38 Tannery St W.

Residential

Contributing Property

General Information

Property Address: 38 Tannery St W.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

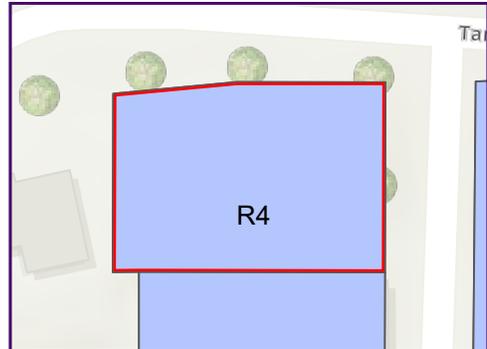
Street view of 38 Tannery St W.



Aerial view of 38 Tannery St W.



Surrounding zoning context



118 Walker St.

Residential

Contributing Property

General Information

Property Address: 118 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 118 Walker St.



Aerial view of 118 Walker St.



Surrounding zoning context



122 Walker St.

Residential

Contributing Property

General Information

Property Address: 122 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 122 Walker St.



Aerial view of 122 Walker St.



Surrounding zoning context



123 Walker St.

Residential

Contributing Property

General Information

Property Address: 123 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 123 Walker St.



Aerial view of 123 Walker St.



Surrounding zoning context



126 Walker St.

Residential

Contributing Property

General Information

Property Address: 126 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	N	N	N	Y	Y	N

Street view of 126 Walker St.



Aerial view of 126 Walker St.



Surrounding zoning context



127 Walker St.

Residential

Contributing Property

General Information

Property Address: 127 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Wood siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 127 Walker St.



Aerial view of 127 Walker St.



Surrounding zoning context



132 Walker St.

Residential

Contributing Property

General Information

Property Address: 132 Walker St.
Property Name: Big Cottage
Heritage Character Area: Residential

Property Description

Builder/Architect: Oliver Gingrich
Date of Construction: ca. 1914
Past Use: Residential
Current Use: Residential
Materials: Glazed Red Brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

The building was constructed ca. 1914 as the home of Thomas E. Henry, a Hespeler grocer. Referred to as the "Big Cottage", the glazed red brick structure is representative of the picturesque vernacular style of architecture.

Distinguishing architectural features include a bel-cast, hip roof with four dormers of similar design. The main door is oak (single leaf) with recessed lower panels, and a leaded glass window. The windows flanking the doorway (and on the east and west sides) have beveled-edge glass panes interspread with decorative "diamond" shaped panes. All lintels and lugsills are of dressed stone (rock faced finish). The verandah is composed of four brick pillars joined by a white wooden balustrade with balusters.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	Y	N	Y	Y	N	Y	Y	N

Street view of 132 Walker St.



Aerial view of 132 Walker St.



Surrounding zoning context



133 Walker St.

Residential

Contributing Property

General Information

Property Address: 133 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 133 Walker St.



Aerial view of 133 Walker St.



Surrounding zoning context



136 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 136 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 136 Walker St.



Aerial view of 136 Walker St.



Surrounding zoning context



137 Walker St.

Residential

Contributing Property

General Information

Property Address: 137 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 137 Walker St.



Aerial view of 137 Walker St.



Surrounding zoning context



143 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 143 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Faux stone

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 143 Walker St.



Aerial view of 143 Walker St.



Surrounding zoning context



144 Walker St.

Residential

Contributing Property

General Information

Property Address: 144 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 144 Walker St.



Aerial view of 144 Walker St.



Surrounding zoning context



147 Walker St.

Residential

Contributing Property

General Information

Property Address: 147 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 147 Walker St.



Aerial view of 147 Walker St.



Surrounding zoning context



150 Walker St.

Residential

Contributing Property

General Information

Property Address: 150 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 150 Walker St.



Aerial view of 150 Walker St.



Surrounding zoning context



151 Walker St.

Residential

Contributing Property

General Information

Property Address: 151 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Vinyl siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Form supports contextual value of the area but has been heavily modified.

Mature Trees on Property.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 151 Walker St.



Aerial view of 151 Walker St.



Surrounding zoning context



157 Walker St.

Residential

Contributing Property

General Information

Property Address: 157 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Plaster

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Mature Trees/Vegetation on Property.

Property Form characteristic of Hespeler HCD.

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

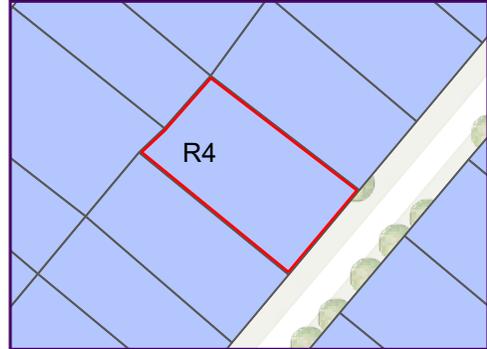
Street view of 157 Walker St.



Aerial view of 157 Walker St.



Surrounding zoning context



158 Walker St.

Residential

Contributing Property

General Information

Property Address: 158 Walker St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Brick

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 158 Walker St.



Aerial view of 158 Walker St.



Surrounding zoning context



163 Walker St.

Residential

Contributing Property

General Information

Property Address: 163 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Siding

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	Y	Y	N

Street view of 163 Walker St.



Aerial view of 163 Walker St.



Surrounding zoning context



164 Walker St.

Residential

Contributing Property

General Information

Property Address: 164 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: 1908

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 164 Walker St.



Aerial view of 164 Walker St.



Surrounding zoning context



167 Walker St.

Residential

Contributing Property

General Information

Property Address: 167 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 167 Walker St.



Aerial view of 167 Walker St.



Surrounding zoning context



168 Walker St.

Residential

Contributing Property

General Information

Property Address: 168 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 168 Walker St.



Aerial view of 168 Walker St.



Surrounding zoning context



172 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 172 Walker St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: Unknown
Past Use: Residential
Current Use: Residential
Materials: Red brick

Zoning Information

Zoning Code: RS1
Zoning Type: LOW DENSITY RESIDENTIAL

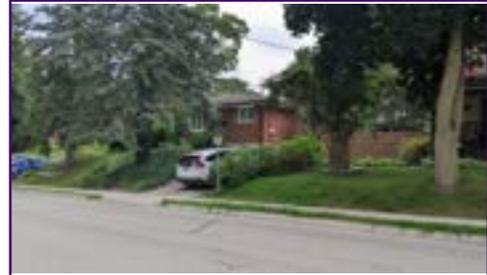
Additional Notes

Mature Trees/Vegetation on Property.
Semi-detached property with 174 Walker

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 172 Walker St.



Aerial view of 172 Walker St.



Surrounding zoning context



173 Walker St.

Residential

Contributing Property

General Information

Property Address: 173 Walker St.
Property Name: N/A
Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown
Date of Construction: ca. 1890
Past Use: Residential
Current Use: Residential
Materials: Pebblestone

Zoning Information

Zoning Code: R4
Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 173 Walker St.



Aerial view of 173 Walker St.



Surrounding zoning context



174 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 174 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Red brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

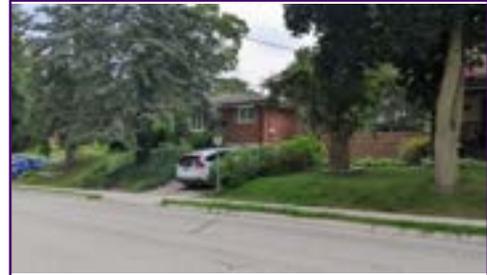
Mature Trees/Vegetation on Property.

Semi-detached property with 174 Walker

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 174 Walker St.



Aerial view of 174 Walker St.



Surrounding zoning context



180 Walker St.

Residential

Contributing Property

General Information

Property Address: 180 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Yellow brick

Zoning Information

Zoning Code: R4

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
Y	N	N	N	N	N	Y	Y	N

Street view of 180 Walker St.



Aerial view of 180 Walker St.



Surrounding zoning context



196 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 196 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 196 Walker

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

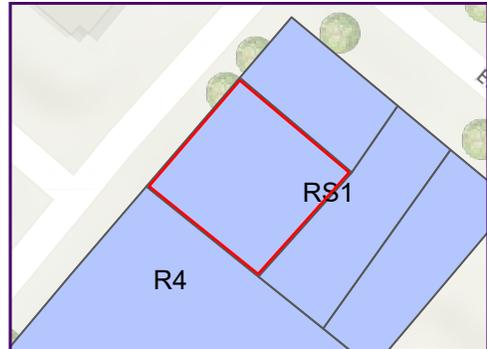
Street view of 196 Walker St.



Aerial view of 196 Walker St.



Surrounding zoning context



198 Walker St.

Residential

Non-Contributing Property

General Information

Property Address: 198 Walker St.

Property Name: N/A

Heritage Character Area: Residential

Property Description

Builder/Architect: Unknown

Date of Construction: Unknown

Past Use: Residential

Current Use: Residential

Materials: Brick

Zoning Information

Zoning Code: RS1

Zoning Type: LOW DENSITY RESIDENTIAL

Additional Notes

Semi-detached property with 196 Walker

OHA 9/06 Reg. Criteria:

1	2	3	4	5	6	7	8	9
N	N	N	N	N	N	N	Y	N

Street view of 198 Walker St.



Aerial view of 198 Walker St.



Surrounding zoning context

